



## DESIGN REVIEW BOARD RECORD OF DECISION

**Meeting Date** May 26, 2022 **DRB Case No.** PDR 2113521

**Address** 1766 Cielito Drive

**Applicant** Aram Alajajian

### Project Summary:

The applicant is proposing to demolish the existing 1-story, 3,246 square-foot (SF) single-family dwelling with attached, 2-car garage (originally built in 1961) and to construct a new 2-story, 5,337 square-foot single-family dwelling with an attached, subterranean, three-car garage on a 23,620 square-foot, double-frontage lot located in the R1R (FAR District II) Zone.

### Design Review:

Board Member	Motion	Second	Yes	No	Absent	Abstain
Lockareff			X			
Minas			X			
Simonian			X			
Tchaghayan		X	X			
Welch	X		X			
Totals			5	0		
<b>DRB Decision</b>		Return for Redesign				

### Condition:

1. Lower the overall height of the project by a minimum of three to four feet and rotate the livable space from the east to the west.
2. Re-design the project to better follow the topography and terrace with the hillside in accordance with the Hillside Design Guidelines. This may include reducing the overall size and projections of the southern cantilevered decks and relocating the master bedroom.
3. Explore other alternatives related to the garage location that would minimize the amount of grading required for this project, and reduce the size of the driveway area.



4. Reduce the overall mass and size of the project, such as a minimum 15% reduction in size of the livable square footage, and provide a concept that is compatible with the neighborhood conditions.
5. Reduce the overall amount of lighting proposed for the exterior building façades and the outdoor areas of the site.
6. Replace the proposed roofing material with a rock roof.

DRB Staff Member Vista Ezzati, Planner

Notes:

***All resubmittals require a DRB application and fee payment. According to Section GMC 30.47.075, projects submitted after 180 days following the DRB's decision date are to be considered as new projects and must submit a new DRB application and all corresponding materials, including new mailing list and labels.***



## GENERAL NOTES

1. TAKE CAREFUL NOTE OF ALL REQUIREMENTS UNDER DIVISION I - GENERAL REQUIREMENTS THAT ARE MADE A PART OF THE CONTRACT, INCLUDING PROJECT REQUIREMENTS, GENERAL REQUIREMENTS, PROJECTION AND SPECIAL PRECAUTIONS, AND THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND TO CROSSCHECK DETAILS AND DIMENSIONS ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FLOOR OPENINGS, SLEEVES AND OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
3. ALL WORK AND MATERIALS ARE TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY AND STATE CODES, LOCAL REGULATIONS AND THE DIRECTION OF THE BUILDING INSPECTOR FOR SUCH BUILDING LAWS. REGULATIONS AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THESE SPECIFICATIONS AND PLANS, EXCEPT WHERE EXCEEDED HEREIN.
4. ALL MATTERS OF COLOR, TEXTURE, DESIGN AND INTERPRETATION OF PLANS SHALL BE REFERRED BY THE CONTRACTOR TO THE ARCHITECT, IN THE EVENT SUCH MATTERS ARE NOT ADEQUATELY COVERED IN PLANS.
5. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DISCREPANCIES ARE TO BE CALLED TO THE ATTENTION OF THE ARCHITECT.
6. NUMERICAL DIMENSIONS SHALL TAKE PRIORITY OVER SCALED.
7. THE CONTRACTOR SHALL FURNISH WATER, SEWER, GAS AND ELECTRIC SERVICE TO MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR AS NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL VERIFY LOCATION OF AFFECTED EXISTING MECHANICAL DUCTS AND ELECTRICAL SYSTEMS.
9. ALL SUBSTITUTIONS OF PRODUCTS SPECIFIED OR DEVIATIONS TO THE DRAWINGS OR SPECIFICATIONS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
10. VERIFY EXACT LOCATION OF CEILING ACCESS PANELS WITH MECHANICAL CONTRACTOR. PROVIDE ACCESS PANELS WHERE REQUIRED.
11. PATCHING AND REPAIR SHALL BE PERFORMED TO CREATE A CONTINUOUS AND UNIFORM SURFACE.
12. CEILING HEIGHTS SHOWN ON REFLECTED CEILING PLANS ARE FROM FINISH FLOOR TO FINISH CEILING.
13. PROVIDE DRYMALL, SCREED OR PLASTER GROUND ON ALL END WALL CONDITIONS AND MAINTAIN SEPARATION FROM NON-COMPATIBLE MATERIAL. INFORM ARCHITECT IMMEDIATELY ON ANY DISCREPANCIES.
14. EXCEPT AS OTHERWISE NOTED ON THE DRAWINGS, PARTITIONS SHALL BE 2 X 4 STUDS AT 16" O.C. WITH SILL AND PLATES AS SHOWN IN THE APPLICABLE DETAILS, OR AS REQUIRED BY LOCAL GOVERNING REGULATIONS.
15. ALL DRYMALL SHALL BE 5/8" THICK GYPSUM BOARD, EXCEPT WHERE NOTED.
16. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE REQUIREMENTS OF THE CITY GLENDALE, BUILDING AND SAFETY REQUIREMENTS, AND STATE OF CALIFORNIA BUILDING CODE.
17. FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS REQUIRED BY THE CITY OF GLENDALE FIRE DEPARTMENT. THE CONTRACTOR SHALL ARRANGE FOR THE INSPECTION BY THE FIRE DEPARTMENT AND INSTALLATION IN ACCORDANCE WITH THE LOCATIONS AND SPECIFICATIONS, AS REQUIRED. ONLY APPROVED TYPE FIRE EXTINGUISHERS SHALL BE USED.
18. ALL INTERIOR FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 903.4 OF C.B.C. FOR THE GROUP AND LOCATION DESIGNATED.
19. CONTRACTOR WARRANTS THAT ALL WORK AND MATERIALS SHALL CONFORM TO THE CONTRACT DOCUMENTS AND NO SUBSTITUTION SHALL BE PERMITTED UNLESS SUBMITTED TO THE ARCHITECT IN WRITING WITH THREE COPIES OF LITERATURE AND SPECIFICATIONS AND FORMALLY APPROVED BY THE ARCHITECT AND OWNER.
20. IF THE CONTRACTOR ENCOUNTERS ASBESTOS OR OTHER TOXIC MATERIALS, THE WORK SHALL IMMEDIATELY CEASE AND THE OWNER AND ARCHITECT SHALL BE INFORMED OF THE PRESENCE OF THESE MATERIALS FOR IMMEDIATE ACTION.
21. LEVERS AND LOCKSETS (ALL HARDWARE) SHALL BE IN ACCORDANCE TO THE TITLE 24 OF THE STATE OF CALIFORNIA.
22. VERIFY TITLE 24 REQUIREMENTS ENERGY CALCULATIONS PRIOR TO ORDERING LIGHT FIXTURES. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR LOCATION OF FIXTURES ONLY.
23. CONTRACTOR IS RESPONSIBLE FOR TITLE 24 ENERGY CALCULATIONS IF A DEVIATION IN DESIGN IS REQUESTED. SUBMIT ANY REQUESTS FOR DEVIATION TO THE ARCHITECT FOR APPROVAL.

24. PROVIDE APPROVED FIRE DAMPERS FOR ALL DUCTS PENETRATING FIRE RATED WALLS AND FLOORS.
25. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 5" FROM FINISH WALL TO FINISH JAMB.
26. ALL LEGAL EXIT DOORS SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.
27. ALL WALL MOUNTED TELEPHONE AND ELECTRICAL OUTLETS SHALL BE INSTALLED AT 15" A.F.F., UNLESS OTHERWISE NOTED.
28. ALL LIGHT FIXTURES SHALL BE LOCATED EXACTLY AS INDICATED.
29. FOR PLUMBING ACCESS PANEL LOCATIONS REFER TO THE PLUMBING DRAWINGS.
30. FOR MECHANICAL ACCESS PANEL LOCATIONS REFER TO THE MECHANICAL DRAWINGS.
31. ONE HOUR FIRE-RESISTIVE PARTITIONS SHALL EXTEND FROM FLOOR SLAB TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE WITH 5/8" THICK TYPE 'X' GYPSUM BOARD ON BOTH SIDES AS REQUIRED FOR ONE HOUR FIRE-RESISTIVE CONSTRUCTION.
32. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 33" AND 44" ABOVE THE FLOOR.
33. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BEVELED WITH A SLOPE NO GREATER THAN 1:2.

## FIRE DEPARTMENT NOTES

- 1. Address Numbers:** Approved address numbers, building numbers or approved building identification shall be placed in a position that is plainly legible and visible from the street, road, alley, and walkways giving access to and within the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of four (4) inches (102 mm) high with a minimum stroke width of 0.5 inch (12.7 mm) and shall be illuminated in an approved manner. (If numbers are on the exterior), Number height and stroke width shall be increased as needed for legibility based on visibility distance.
- 2. Fire Sprinklers:** Provide a complete automatic fire sprinkler system throughout the structure installed in accordance with the recommendations of NFPA-13D and the requirements of the Glendale Fire Department. Fire sprinkler plans shall be submitted within 30 days of issuance of the building permit.
- 3. Smoke Detectors:** Smoke detectors shall be wired to the building electrical system, be equipped with battery backup, and emit a signal when batteries are low. Smoke alarms shall be interconnected, so that the activation of one alarm will activate all other alarms.
- 4. Carbon Monoxide Detectors:** Shall be installed outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling unit including basements. Alarms shall be hardwired from the building power supply and equipped with battery backup. Detectors shall meet U.L. 2034 and/or NFPA 720 standards. 2013 California Residential Code Chapter 3 Sec. R315
- 5. Fuel Modification / Landscaping for High Fire Hazard Areas (HFHA):**
- Maintain existing/provide fuel modification only--- Fire Department review or permitting of landscape plans
- 6. Fire Permits:** The following permits are required from Fire Department:
- Fire Sprinkler
  - Fuel Modification / Landscaping
- 7. Required GFD Inspections:** for this project are listed below. For all inspections, call 818-548-4810.
- Fire sprinkler overhead/underground rough and flush (before covering any piping).
  - Fire sprinkler final.
  - Fuel Modification / Landscaping.
  - Fire Prevention Bureau Final (address signs, egress fire department access, smoke detectors, fuel modification, etc.)
- PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE AS WELL AS THE 2017 GLENDALE BUILDING AND SAFETY CODE.

# SINGLE FAMILY DWELLING

1766 CIELITO DR. GLENDALE, CA 91207

## CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH:  
2017 CITY OF GLENDALE BUILDING AND SAFETY CODE.  
2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA ELECTRICAL CODE  
CALIFORNIA GREEN BUILDING STANDARDS CODE  
2019 CALIFORNIA ENERGY CODE (T-24),

## LEGEND OF SYMBOLS

	METAL		NORTH ARROW
	PLYWOOD		SECTION
	GYPSUM WALLBOARD		GRID LINE
	CONCRETE		MATCH LINE
	FINISH WOOD		ELEVATION
	BATT INSULATION		DIRECTION OF SLOPE
	ACOUSTICAL TILE		DRAWING NUMBER
	WOOD BLOCKING		INTERIOR ELEVATION
	CONT. WOOD BLOCKING		ROOM NUMBER
	CARPET SECTION		STOREFRONT
	DETAIL NUMBER		DOOR
	SHEET ON WHICH DETAIL OCCURS		WINDOW
	ROOM FINISH NOTE		CENTERLINE
	DOOR NUMBER		
	ROOM NUMBER		

## STANDARD ABBREVIATIONS

A.B.	AT	EXTR.	EXTRUDED	P. LAM.	PLASTIC LAMINATE
A.D.	ANCHOR BOLT	F.D.	FLOOR DRAIN	P.B.L.	PAPER BACKED LATH
ADDNL.	AREA DRAIN	FDN.	FOUNDATION	P.T.	PRESSURE TREATED
ADJ.	ADDITIONAL	FIN.	FINISH	PARTN.	PARTITION
A.F.F.	ADJACENT	FL.	FLOOR	PLAST.	PLASTER
ALUM.	ABOVE FINISH FLR.	F.O.C.	FLASHING	PLY.	PLYWOOD
APPROX.	ALUMINUM	F.O.F.	FACE OF CONCRETE	PR.	PAIR
ARCH.	APPROXIMATELY	F.O.F.	FACE OF FINISH	PRPT.	PARAPET
A.S.	ARCHITECT	F.O.M.	FACE OF MASONRY	PTD.	PAINTED
ASSY.	ASPHALTIC CONC.	F.O.S.	FACE OF STUD	R.O.	ROUGH OPENING
B.O.	ASSEMBLY	FRMG.	FRAMING	R.	RADIUS
BD.	BOTTOM OF	FT.	FOOT / FEET	R.C.P.	REFLECTED CEILING PLAN
BIT.	BOARD	FTG.	FOOTING	RD.	ROOF DRAIN
BLDG.	BITUMEN(OUS)	GA.	GAUGE	REF.	REFERENCE
BLKG.	BUILDING	GALV.	GALVANIZED	REINF.	REINFORCEMENT
BLKG.	BLOCKING	GYP.	GYPSUM	REQ'D.	REQUIRED
BM.	BEAM	H.B.	HOSE BIBB	RF'G.	ROOM
CAB.	CABINET	H.C.	HOLLOW CORE	S.B.	SANDBLASTED
C.B.	CATCH BASIN	H.M.	HOLLOW METAL	S.D.	STORM DRAIN
C.T.	CERAMIC TILE	HDR.	HEADER	S.C.	SOLID CORE
CEM.	CEMENT	HORIZ.	HORIZONTAL	S.S.	STAINLESS STEEL
CL.	CENTER LINE	HT.	HEIGHT	SCH.	SCHEDULE
CLG.	CEILING	I.D.	INSIDE DIAMETER	SHT.	SHEET
CLR.	CLEAR	INFO.	INFORMATION	SIM.	SIMILAR
COL.	COLUMN	INSUL.	INSULATION	SPEC.	SPECIFICATION
COMP.	COMPOSITION	INT.	INTERIOR	SPEC'D.	SPECIFIED
CONC.	CONCRETE	I.S.F.W.	INSIDE FACE OF FINISH WALL	SQ.	SQUARE
CONSTR.	CONSTRUCTION	JOINT	JOINT	STD.	STANDARD
CONT.	CONTINUOUS	M.O.	MASONRY OPENING	STRUCT.	STRUCTURAL
CONTR.	CONTRACTOR	MAX.	MAXIMUM	SUSP.	SUSPENDED
CPT.	CARPET	MEB.	MEMBER	T.	TEMPERED
CTR.	CENTER	MECH.	MECHANICAL	T.O.	TOP OF
DBL.	DOUBLE	MEMB.	MEMBRANE	T.C.S.	TERNE COATED STEEL
D.F.	DOUGLAS FIR	MFR.	MANUFACTURER	T.C.Z.	TERNE COATED ZINC
DIA.	DIAMETER	MIN.	MINIMUM	TEMP.	TEMPERED
DIM.	DIMENSION	MISC.	MISCELLANEOUS	THK.	THICK
DN.	DOWN	MTD.	MOUNTED	TYP.	TYPICAL
DR.	DOOR	N.I.C.	NOT IN CONTRACT	U.B.C.	UNIFORM BUILDING CODE
D.S.	DOWNSPOUT	N.T.S.	NOT TO SCALE	U.O.N.	UNLESS OTHERWISE NOTED
DTL.	DETAIL	NAT.	NATURAL	VERT.	VERTICAL
DWG.	DRAWING	NOM.	NOMINAL	V.G.D.F.	VERTICAL GRAIN
EA.	EACH	O.C.	ON CENTER	W.C.	WATER CLOSET
ELEC.	ELECTRICAL	O.D.	OUTSIDE DIAMETER	W/O	WITHOUT
EL.	ELEVATION	O.H.	OVER HEAD	W/	WITH
ENCL.	ENCLOSURE	OPEN'G.	OPENING	W/P.	WITHIN
EQ.	EQUAL	OPP.	OPPOSITE	W.R.	WATER PROOF
EXIST.	EXISTING	O.S.F.W.	OUTSIDE FACE OF FINISH WALL	WD.	WOOD
EXP.	EXPANSION	P.L.	PROPERTY LINE	WT.	WALL THICKNESS
EXT.	EXTERIOR				

## LEGAL DESCRIPTION

ASSESSOR'S ID NO. 5648-029-015

POR.LOT 4 OF TRACT NO. 24858, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 654, PAGES 80-82 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

## CONSULTANT INFO.

### ARCHITECT

ALAJAJIAN-MARCOOSI ARCHITECTS INC.  
320 WEST ARDEN AVENUE, SUITE 120  
GLENDALE, CA 91203  
TEL: (818) 244-5130 FAX: (818) 551-1613  
E-MAIL: ARAMAR@ATT.NET

### LANDSCAPE ARCHITECT

COURTLAND STUDIO, LLC  
13351-D RIVERSIDE DRIVE #445  
SHERMAN OAKS, CA 91423  
TEL: 818-788-9382 818-788-3217

### SURVEYOR

RAY LOMBERA & ASSOCIATES, INC.  
5015 EAGLE ROCK BLVD. #120  
LOS ANGELES, CA 90041  
TEL: 323-251-9771 FAX: 323-257-4865

### SOIL ENGINEER

CREATIVE GEOTECHNICAL INC.  
14421 SYLVAN ST.  
VAN NUYS, CA 91411  
TEL: 818-923-5800  
WWW.CREATIVEGEOTECHNICAL.COM

Owner:

JACK DEMERCHIAN

Owner Address:

1766 CIELITO DR  
GLENDALE, CA 91207

Project Name:

SINGLE FAMILY  
DWELLING

Project Address:

1766 CIELITO DR.  
GLENDALE, CA 91207

## COVER SHEET

Scale: N/A

## SHEET INDEX

### ARCHITECTURAL:

- A-0.1 COVER SHEET
- C-1 SURVEY
- A-0.2 DEMOLITION PLAN
- A-0.3 CODE ANALYSIS
- A-0.4 NEIGHBORING PROPERTIES
- A-0.5 EXCAVATION PLAN
- A-0.6 REDUCED MASSING SECTIONS
- A-0.7 EXISTING HOUSE SETBACKS
- A-1.1 SITE PLAN
- A-1.2 EXISTING HOUSE VS PROPOSED HOUSE
- A-1.3 ALTERNATIVE STUDY
- A-2.0 GARAGE FLOOR PLAN
- A-2.1 FIRST FLOOR PLAN
- A-2.2 SECOND FLOOR PLAN
- A-2.3 ROOF PLAN
- A-2.4 LIGHTING PLAN
- A-2.5 TEMPORARY FRAME PLAN
- A-3.1 BUILDING ELEVATIONS
- A-3.1a COLOR BUILDING ELEVATIONS
- A-3.2 BUILDING ELEVATIONS
- A-3.2a COLOR BUILDING ELEVATIONS
- A-3.3 TEMPORARY FRAME ELEVATIONS
- A-3.4 TEMPORARY FRAME ELEVATIONS
- A-4.1 BUILDING SECTION
- A-4.2 BUILDING SECTION
- A-4.3 BUILDING SECTION
- A-4.4 BUILDING SECTION
- A-5.1 DOOR, WINDOW SCHEDULES
- A-6.1 DETAILS
- A-6.2 DETAILS
- A-8.1 RENDERINGS
- A-8.2 RENDERINGS

### LANDSCAPE:

- L-1.2 LANDSCAPE PLAN
- L-1.1 PLANT PHOTOS
- L-2.0 IRRIGATION PLAN

## PROJECT SUMMARY

### SCOPE OF WORKS:

DEMOLISH AN EXISTING ONE STORY 3,246 SQUARE FEET HOUSE AND CONSTRUCT A NEW TWO STORY, FIVE BEDROOM HOUSE WITH 3 CAR GARAGE APPROXIMATELY 5,337 SQ. FT.

### CODE ANALYSIS:

USE: RESIDENTIAL  
LOT SIZE: 29,620 SQ. FT.  
ZONE: RIR-II  
FAR: 40% X10,000. +10% X13,620=5,362 S.F.  
5,337 SQ.FT. < 5,362 SQ. FT.

ALLOWED LOT COVERAGE: 40% OF 29,620= 9,448  
PROPOSED LOT COVERAGE: 3,754 / 29,620= 15.9 %

UNGRADED OPEN SPACE: 9,826 SQ.FT. / 29,620 SQ.FT. = 42%

REQUIRED LANDSCAPE: 40% MIN. OF THE LOT AREA  
.40 X 29,620 =9,448 SQ.FT.  
PROPOSED LANDSCAPE: 13,700 / 29,620 SQ.FT. = 58%

GARAGE	626 SQ. FT.
BASEMENT	254 SQ.FT.
1ST FLOOR	3,055 SQ. FT.
2ND FLOOR	2,028 SQ. FT.
<b>TOTAL FLOOR</b>	<b>5,963 SQ. FT.</b>

CONSTRUCTION TYPE: TYPE V-B W/ NFPA-13D SPRINKLER SYSTEM THROUGHOUT THE BUILDING

R-3 / U

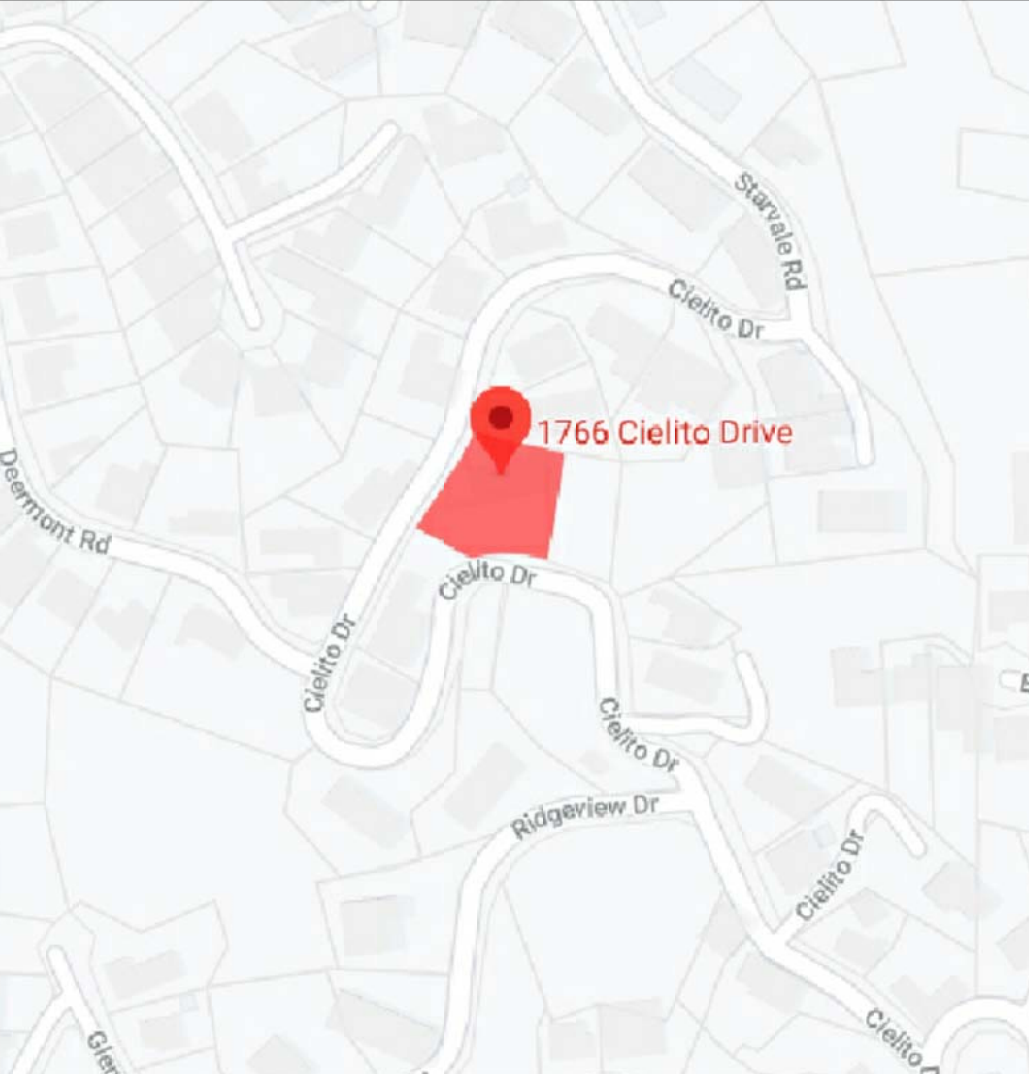
OCCUPANCY TYPE: BUILDING HT ALLOWED: 32'-0"

BUILDING HT PROVIDED: 32'-0" FROM LOWEST POINT TO TOP OF PARAPET

### SETBACKS

	REQUIRED	PROVIDED
FRONT SETBACK	20'	MIN. 20' TO MAX. 55'
INTERIOR YARD	10'	MIN. 10' TO MAX. 28'

\* POOLS, SPAS, WALLS, FENCES, RETAINING WALLS ARE ALL UNDER SEPARATE PERMIT.



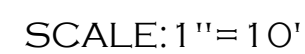
- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 3.17.21
- JOB NO
- SHEET NO

# A-0.1

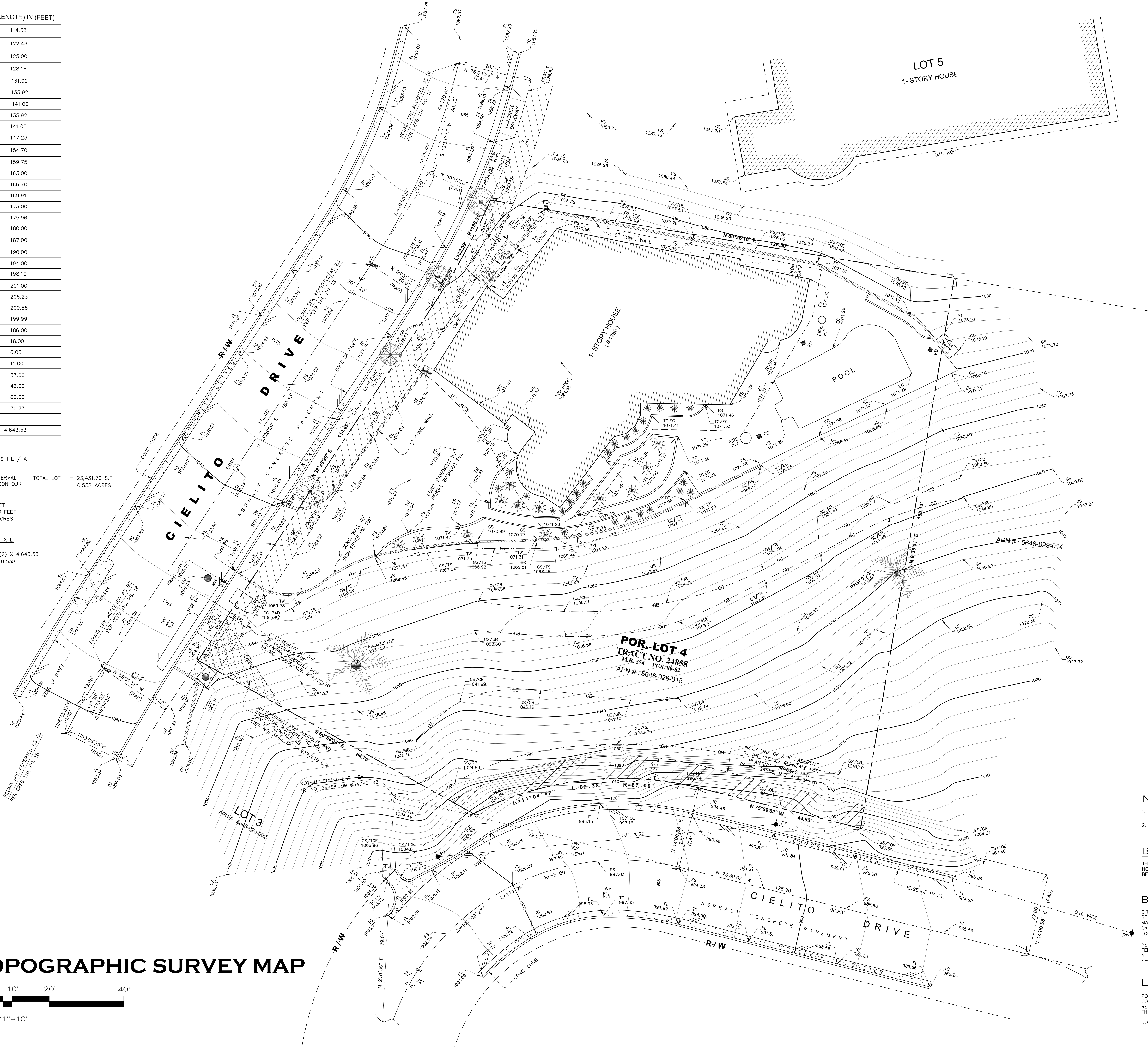


I (INTERVAL)	L (LENGTH) IN (FEET)
1016	114.33
1018	122.43
1020	125.00
1022	128.16
1024	131.92
1026	135.92
1028	141.00
1030	135.92
1032	141.00
1034	147.23
1036	154.70
1038	159.75
1040	163.00
1042	166.70
1044	169.91
1046	173.00
1048	175.96
1050	180.00
1052	187.00
1054	190.00
1056	194.00
1058	198.10
1060	201.00
1062	206.23
1064	209.55
1066	199.99
1068	186.00
1070	18.00
1072	6.00
1074	11.00
1076	37.00
1078	43.00
1080	60.00
1082	30.73
TOTAL	4,643.53

S= 39.53 %



C





THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICIAL MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.

alajajian • marcoosi architects



**Alajajian Marcoosi Architects Inc.**  
320 W. Arden Ave. Suite 120  
Glendale, CA 91203  
Phone: (818) 244-5130  
Fax: (818) 551-1813  
E-mail: aramar@worldnet.att.net

Owner:  
**JACK DEMERCHIAN**

Owner Address:  
**1766 CIELITO DR  
GLENDALE, CA 91207**  
Project Name:  
**SINGLE FAMILY DWELLING**

Project Address:  
**1766 CIELITO DR.  
GLENDALE, CA 91207**

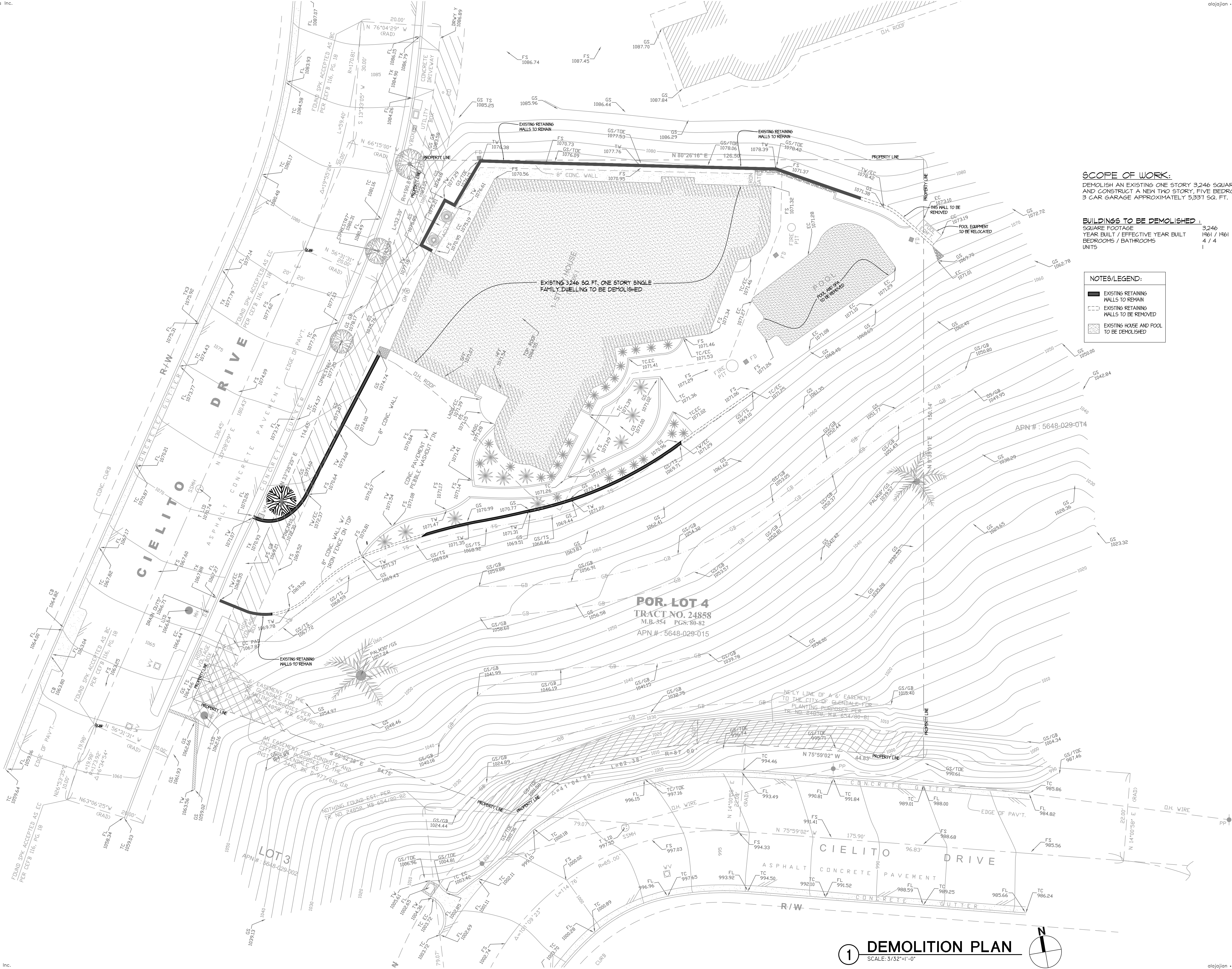
## DEMOLITION PLAN

Scale: 3/32"=1'-0"

### KEYPLAN

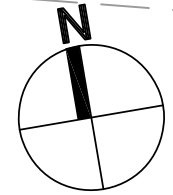
- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 3.17.21
- JOB NO
- SHEET NO

A-0.2



## 1 DEMOLITION PLAN

SCALE: 3/32"=1'-0"





THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE UNITED STATES OF AMERICA. NO PART THEREOF SHALL BE COPIED, REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE UNITED STATES OF AMERICA. THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL BE THE BASIS FOR THE CONSTRUCTION OF THE TRACTORS. YOU SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICEMUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. YOU SHALL RETURN THESE DRAWINGS TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.

320 W. Arden Ave. Suite 120  
Glendale, CA 91203  
Phone: (818) 244-5130  
Fax: (818) 551-1613  
E-mail: [aramar@worldnet.att.net](mailto:aramar@worldnet.att.net)

Owner:

Owner Address:

1766 CIELITO DR  
GLENDALE, CA 91207

Project Name:

**SINGLE FAMILY DWELLING**

Project Address

**1766 CIELITO DR.  
GLENDALE, CA 9120**

Scale: N/A

## KEYPLAN

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 03.17.21
- JOB NO
- SHEET NO

# A-0.3



REQUIRED LANDSCAPE: 40% MIN. OF THE LOT AREA  $40 \times 23,620 \text{ SQ. FT.} = 9,448 \text{ SQ. FT.}$   
 PROPOSED LANDSCAPE: 58% = 13,700 SQ. FT. / 23,620 SQ. FT.





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**JACK DEMERCHIAN**

Owner Address:  
**1766 CIELITO DR  
GLENDALE, CA 91207**  
Project Name:  
**SINGLE FAMILY DWELLING**

Project Address:  
**1766 CIELITO DR.  
GLENDALE, CA 91207**

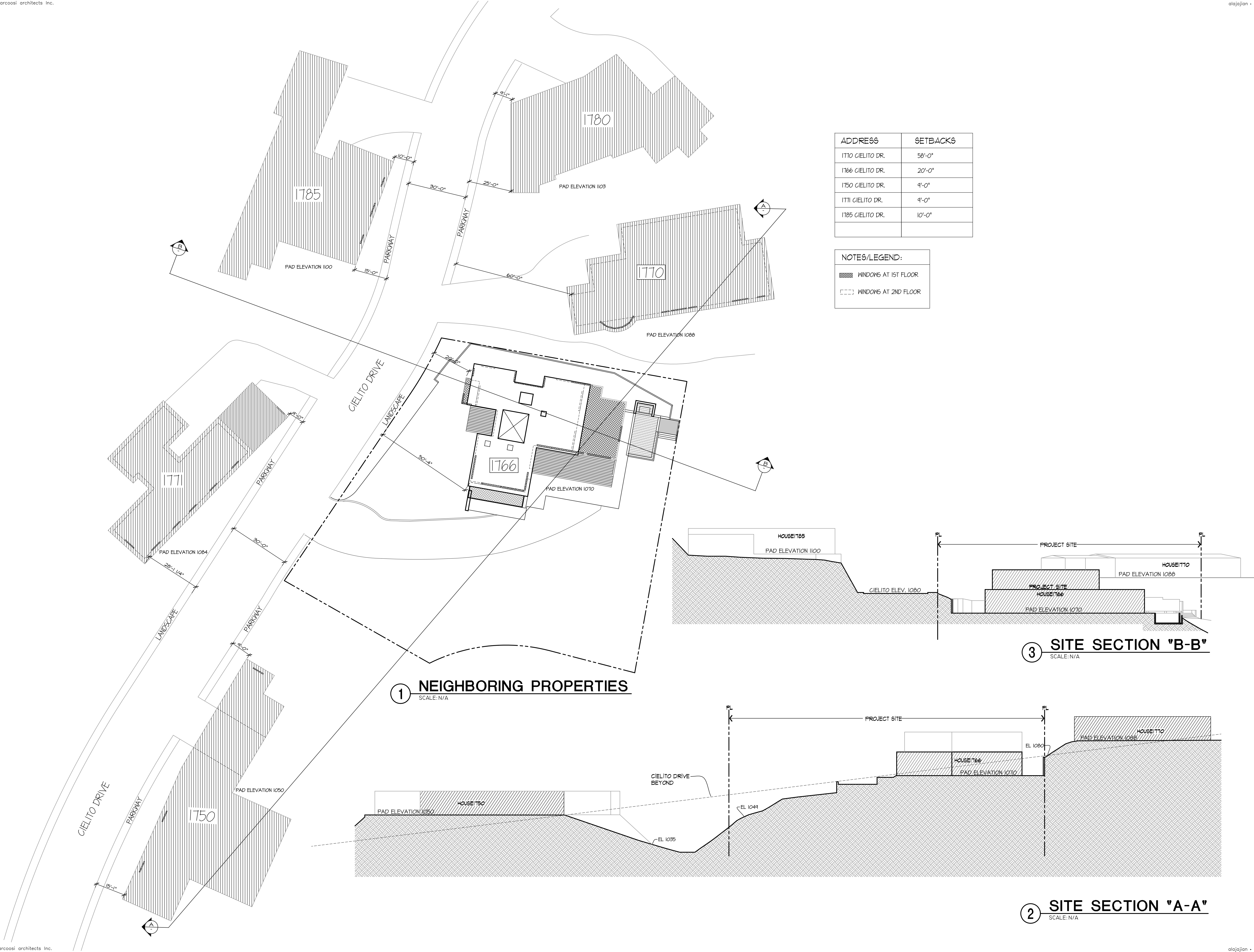
## NEIGHBORING PROPERTIES AND SECTION

Scale: N/A

### KEYPLAN

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 03.17.21
- JOB NO
- SHEET NO

**A-0.4**





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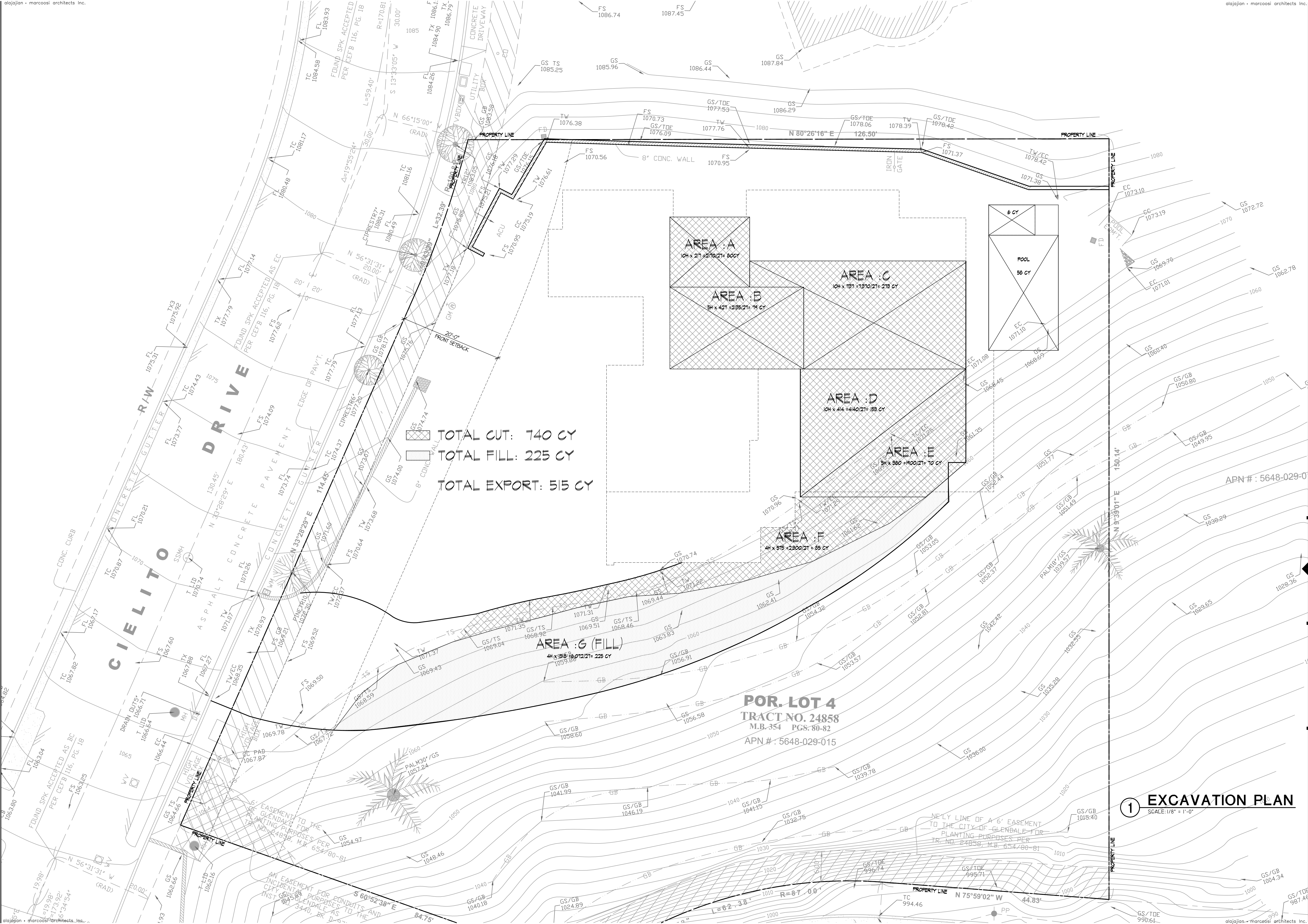
## EXCAVATION PLAN

Scale: NA

## KEYPLAN

- APPROVED
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- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 03.17.21
- JOB NO
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# A-0.5





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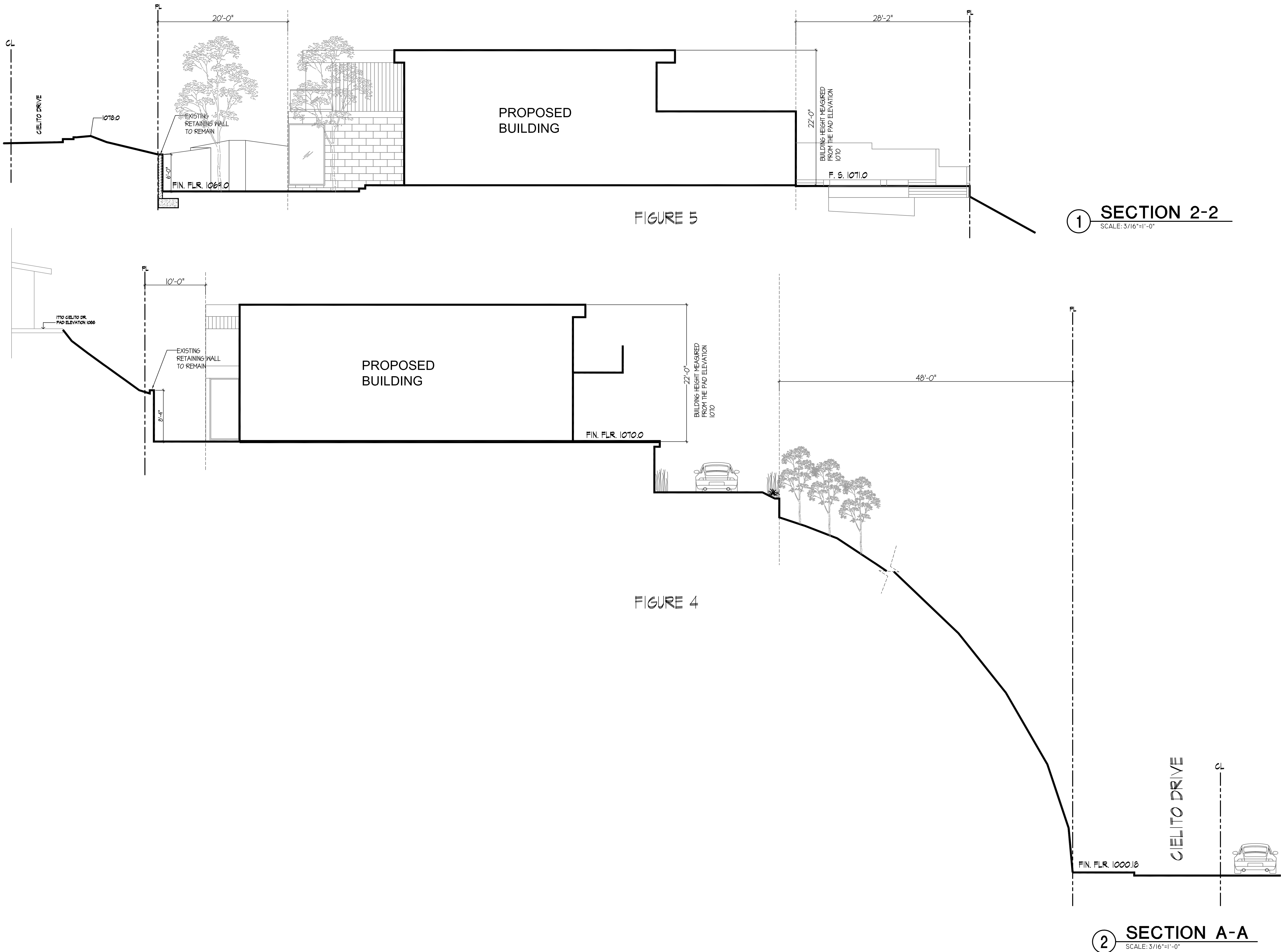
## REDUCED MASSING SECTIONS

Scale: 1/8"=1'-0"

### KEYPLAN

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
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# A-0.6





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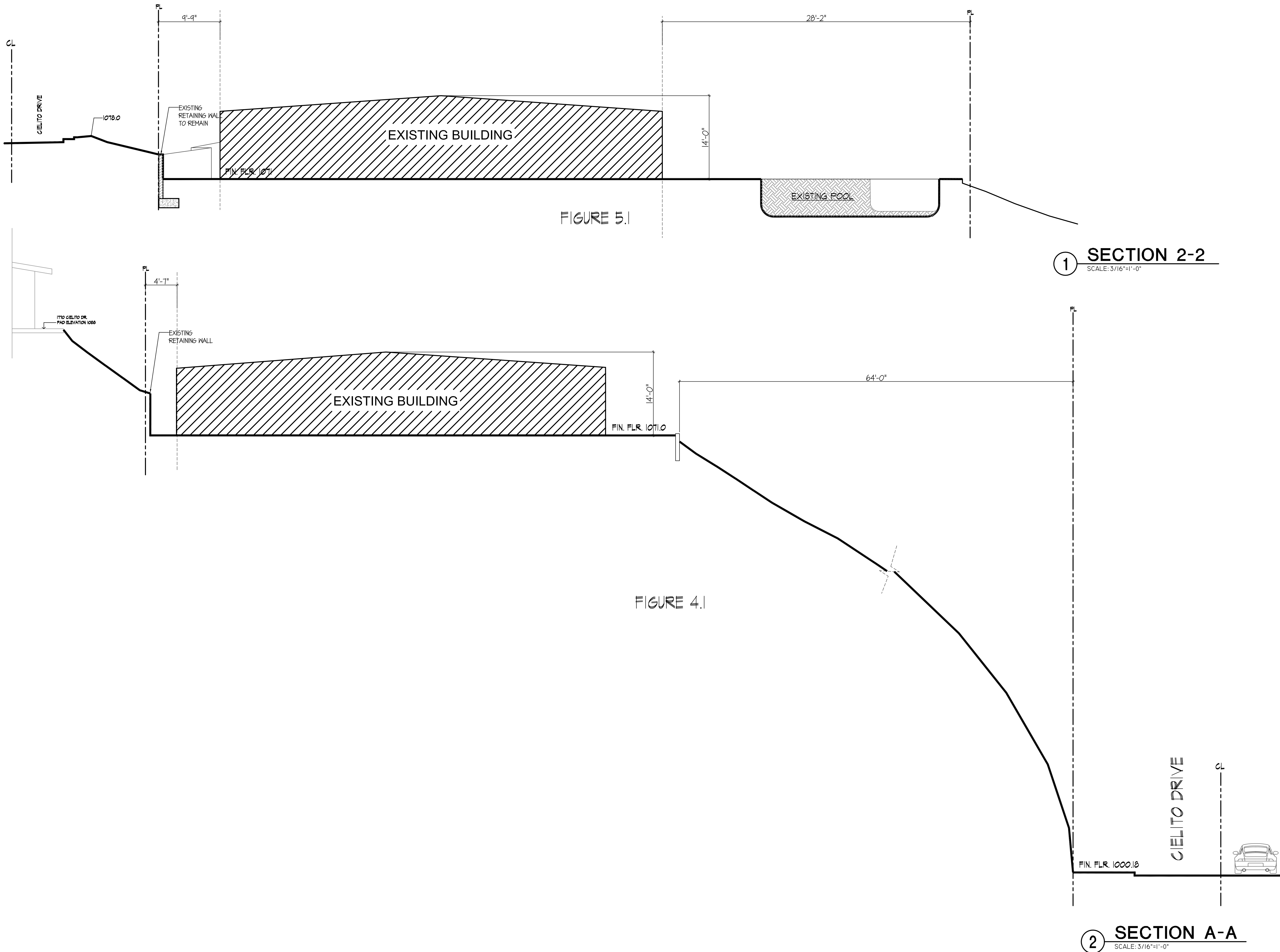
## EXISTING HOUSE SETBACKS

Scale: 1/8"=1'-0"

### KEYPLAN

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- APPROVED
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- REVISION
- REVISION
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- PRINT DATE 03.17.21
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# A-0.7





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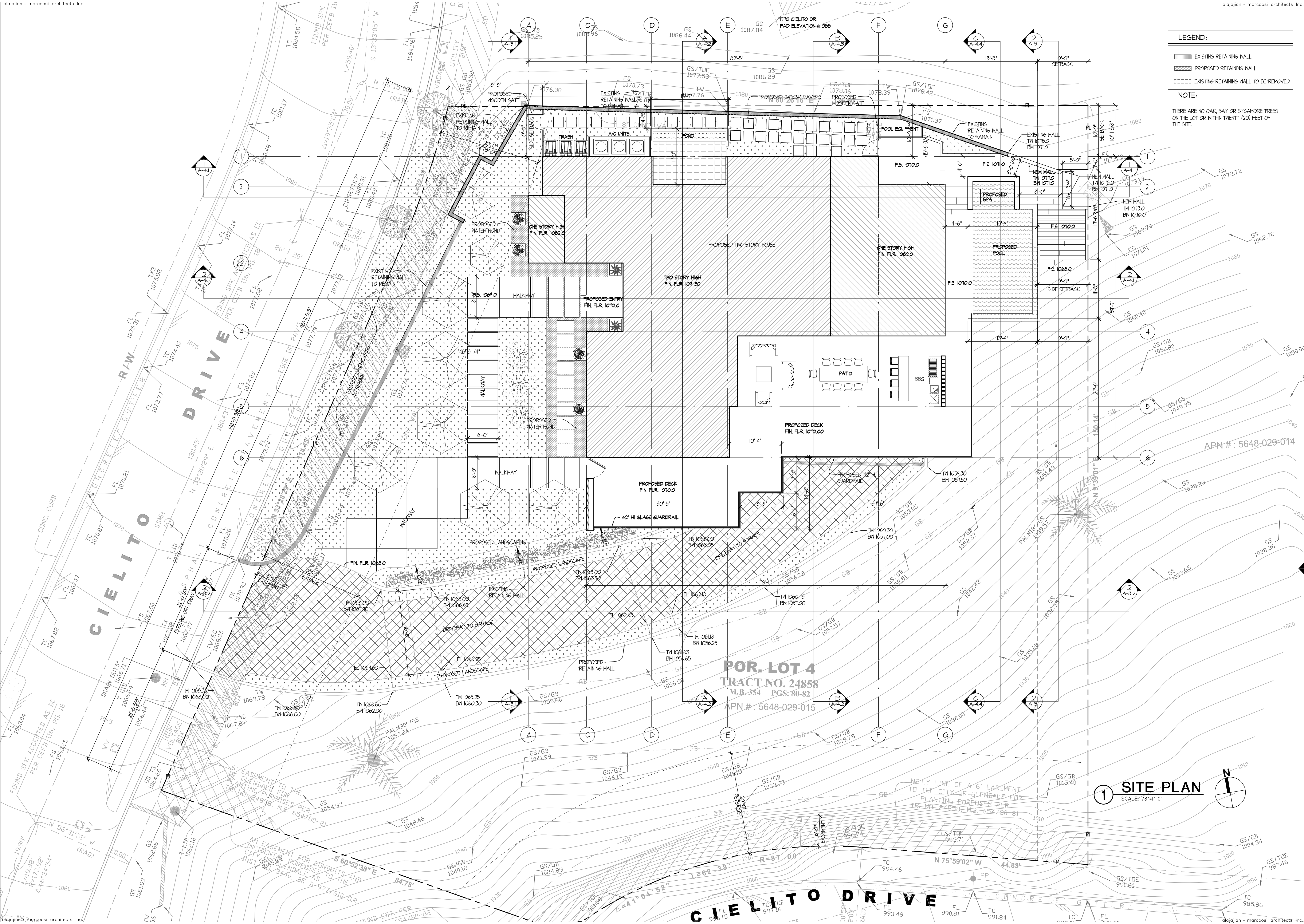
## SITE PLAN

Scale: 1/8"=1'-0"

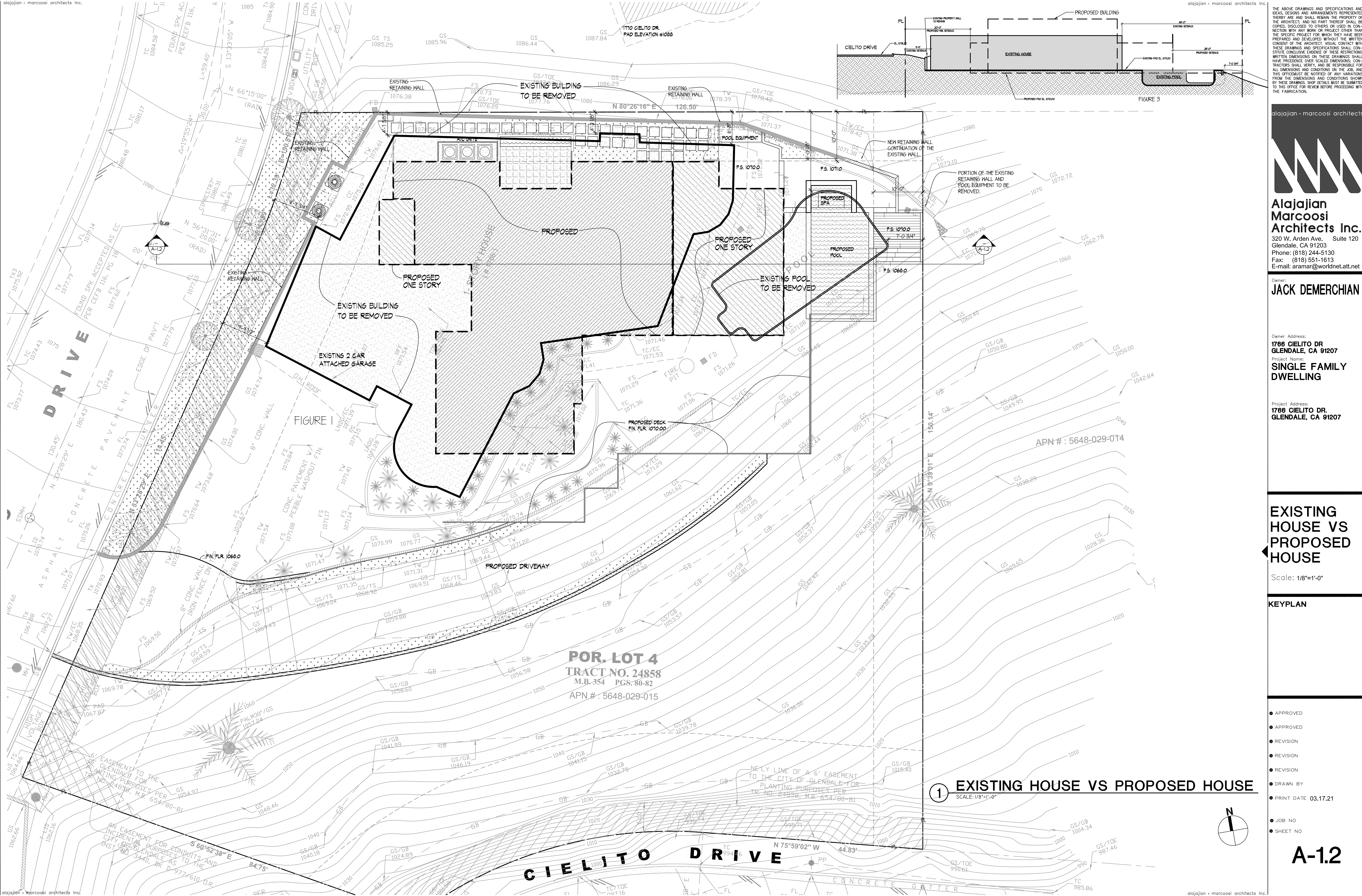
### KEYPLAN

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# A-1.1







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Project Name:  
**SINGLE FAMILY DWELLING**

Project Address:  
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GLENDALE, CA 91207**

**EXISTING HOUSE VS PROPOSED HOUSE**

Scale: 1/8"=1'-0"

**KEYPLAN**

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- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 03.17.21
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**A-1.2**



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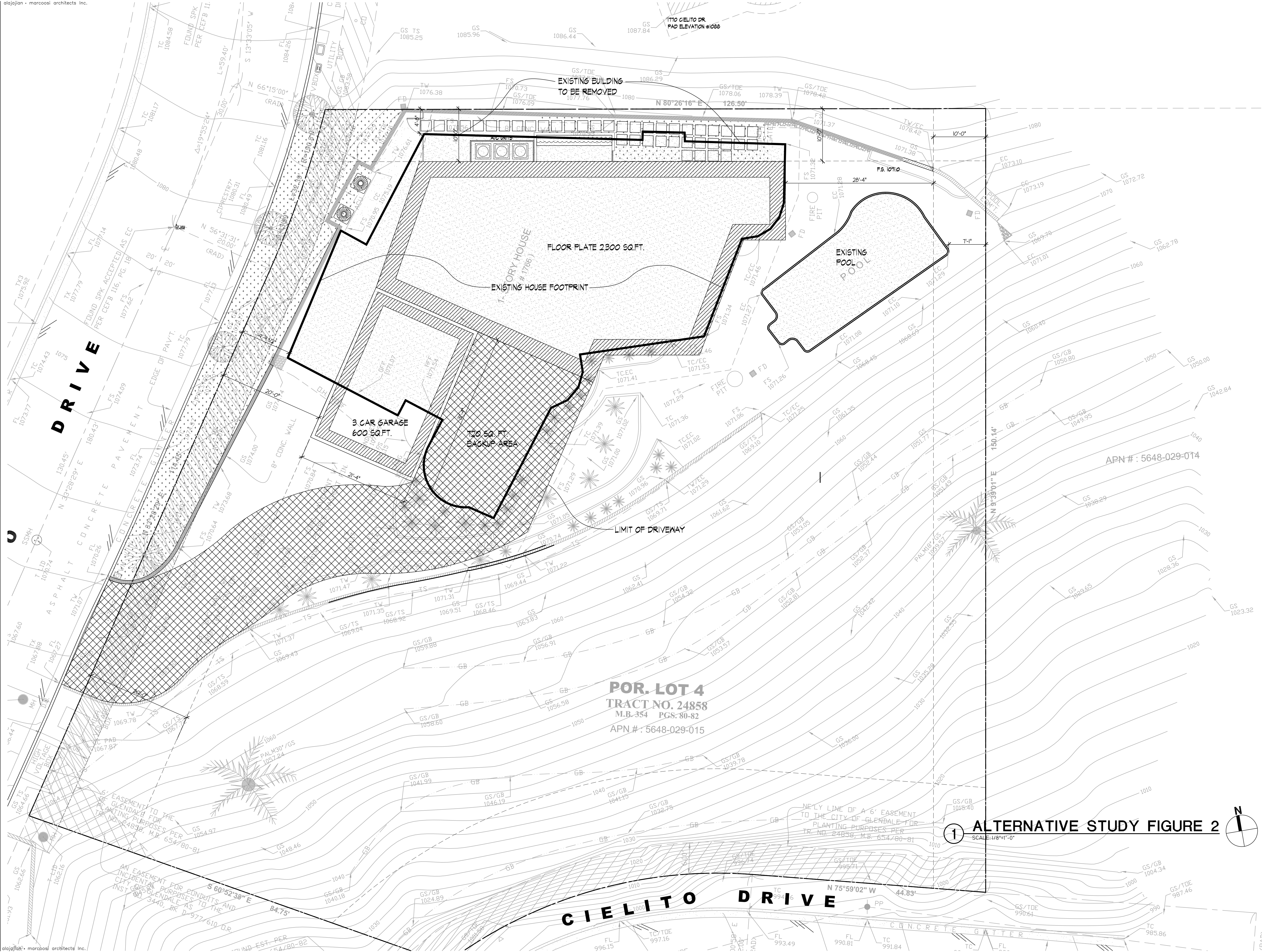
## ALTERNATIVE STUDY

Scale: 1/8"=1'-0"

### KEYPLAN

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A-1.3





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Project Name:

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DWELLING**

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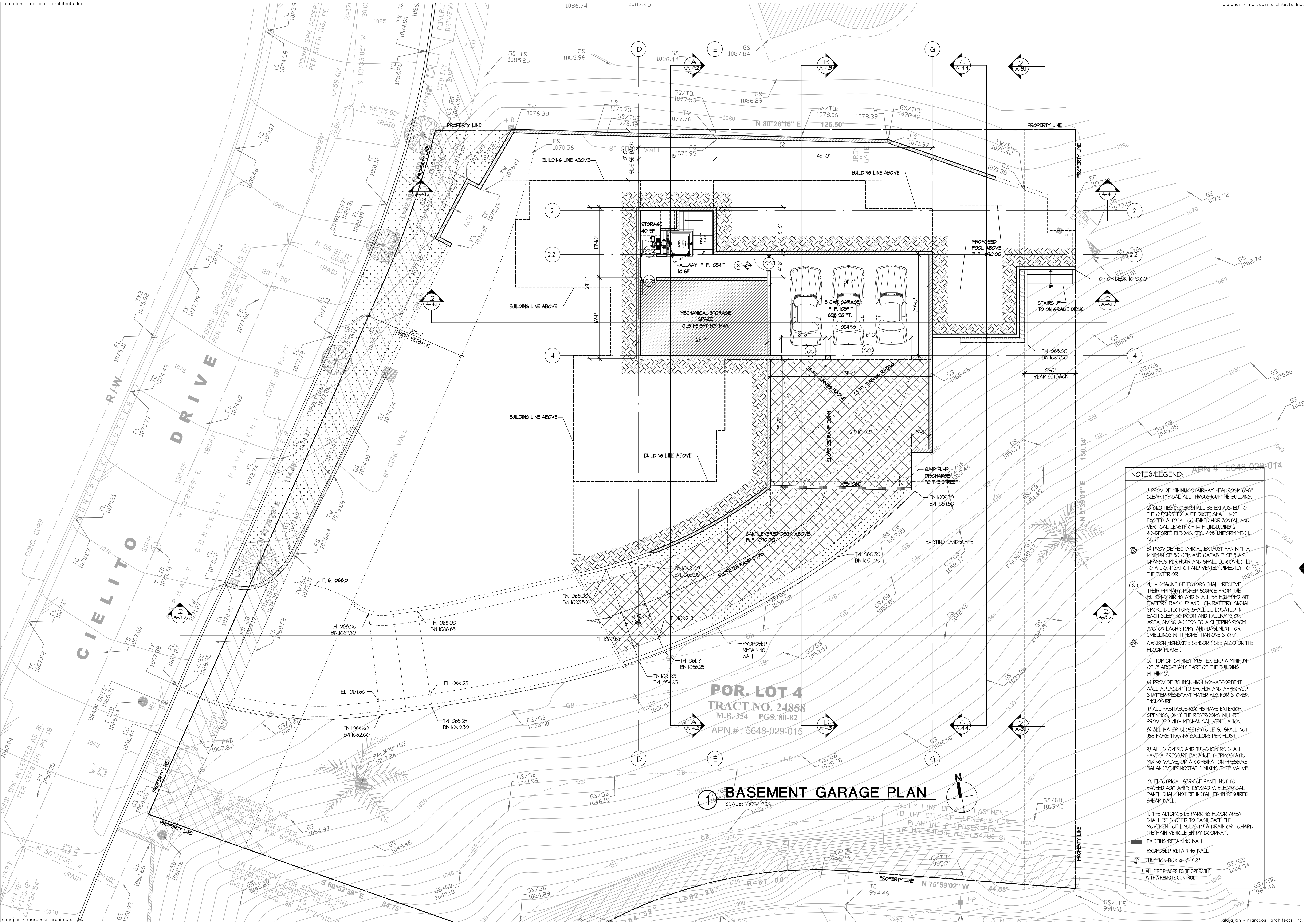
## BASEMENT GARAGE

Scale: 1/8"=1'-0"

### KEYPLAN

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# A-2.0





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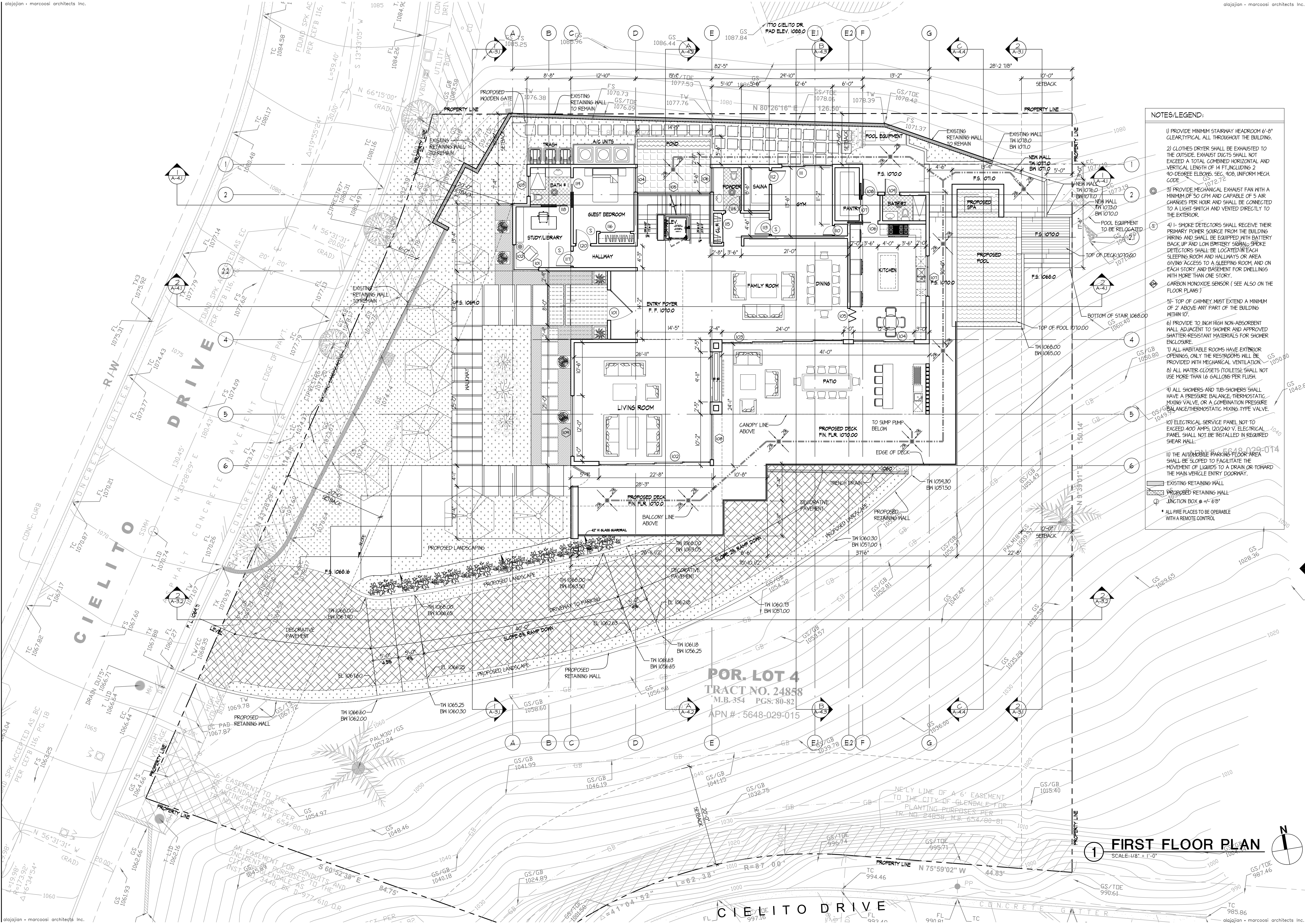
## 1st FLOOR PLAN

Scale: "1"=1'-0"

### KEYPLAN

- APPROVED
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- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 03.17.21
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# A-2.1



### NOTES/LEGEND:

- 1) PROVIDE MINIMUM STAIRWAY HEADROOM 6'-8" CLEAR, TYPICAL ALL THROUGHOUT THE BUILDING.
- 2) CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE. EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FT, INCLUDING 2 90-DEGREE ELBOWS. SEC. 408, UNIFORM MECH. CODE.
- 3) PROVIDE MECHANICAL EXHAUST FAN WITH A MINIMUM OF 50 CFM AND CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE CONNECTED TO A LIGHT SWITCH AND VENTED DIRECTLY TO THE EXTERIOR.
- 4) I- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM AND HALLWAYS OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. CARBON MONOXIDE SENSOR (SEE ALSO ON THE FLOOR PLANS.)
- 5)- TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'.
- 6) PROVIDE 10 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- 7) ALL HABITABLE ROOMS HAVE EXTERIOR OPENINGS, ONLY THE RESTROOMS WILL BE PROVIDED WITH MECHANICAL VENTILATION.
- 8) ALL WATER CLOSETS (TOILETS) SHALL NOT USE MORE THAN 1.6 GALLONS PER FLUSH.
- 9) ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING-TYPE VALVE.
- 10) ELECTRICAL SERVICE PANEL NOT TO EXCEED 400 AMPS, 120/240 V. ELECTRICAL PANEL SHALL NOT BE INSTALLED IN REQUIRED SHEAR WALL.
- 11) THE AUTOMOBILE PARKING AREA SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.

- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- JUNCTION BOX 4" x 6"
- \* ALL FIRE PLACES TO BE OPERABLE WITH A REMOTE CONTROL



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Project Name:  
**SINGLE FAMILY  
DWELLING**

Project Address:  
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GLENDALE, CA 91207**

## 2ND FLOOR PLAN

Scale: 1/8"=1'-0"

### KEYPLAN

- APPROVED
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- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 03.17.21
- JOB NO
- SHEET NO

# A-2.2



## 1 SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

### NOTES/LEGEND:

- 1) PROVIDE MINIMUM STAIRWAY HEADROOM 6'-8" CLEAR, TYPICAL ALL THROUGHOUT THE BUILDING.
  - 2) CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE. EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FT INCLUDING 2 90-DEGREE ELBOWS. SEE BOB, UNIFORM MECH. CODE.
  - 3) PROVIDE MECHANICAL EXHAUST FAN WITH A MINIMUM OF 50 CFM AND CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE CONNECTED TO A LIGHT SWITCH AND VENTED DIRECTLY TO THE EXTERIOR.
  - 4) I-SMOKER DETECTORS SHALL RELIEVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM AND HALLWAYS OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. CARBON MONOXIDE SENSOR (SEE ALSO ON THE FLOOR PLANS.)
  - 5) TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'.
  - 6) PROVIDE 10 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
  - 7) ALL HABITABLE ROOMS HAVE EXTERIOR OPENINGS, ONLY THE RESTROOMS WILL BE PROVIDED WITH MECHANICAL VENTILATION.
  - 8) ALL WATER CLOSETS (TOILETS), SHALL NOT USE MORE THAN 16 GALLONS PER FLUSH.
  - 9) ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE.
  - 10) ELECTRICAL SERVICE PANEL NOT TO EXCEED 400 AMPS, 120/240 V. ELECTRICAL PANEL SHALL NOT BE INSTALLED IN REQUIRED SHEAR WALL.
  - 11) THE AUTOMOBILE PARKING FLOOR AREA SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.
- EXISTING RETAINING WALL  
PROPOSED RETAINING WALL  
JUNCTION BOX @ +/- 68"  
ALL FIRE PLACES TO BE OPERABLE WITH A REMOTE CONTROL



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Owner: \_\_\_\_\_

Owner Address:  
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GLENDALE, CA 91207**

Project Address:  
**1766 CIELITO DR.**  
**GLENDAL, CA 91207**

Scale: 1/8"=1'-0"

☐ APPROVED  
☐ APPROVED  
☐ REVISION  
☐ REVISION  
☐ REVISION  
☐ DRAWN BY  
☐ PRINT DATE 03.17.21  
☐ JOB NO  
☐ SHEET NO

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ROOFING (CBC 1054): MATERIALS: SHALL BE MINIMUM OF CLASS "A" RATING; ROOF ASSEMBLY (INCLUDING COVERINGS) SHALL BE INSTALLED IN ACCORDANCE WITH ITS LISTING AND MANUFACTURER'S INSTRUCTIONS.

COVERINGS: CONSTRUCTED TO PREVENT FLAME/EMBER INSTRUCTION: BE FIRE STOPPED WITH APPROVED MATERIALS OR T2 POUND GAP SHEET.

ROOF VALLEYS: APPROVED FLASHING OVER 12 POUND CAP SHEET (MIN 36 INCH WIDE).

ROOF GUTTERS: DEBRIS RESISTANT ROOF GUTTERS.

VENTILATION (CBC 106A): FLAME AND EMBER INSTRUCTION RESISTANT OPENINGS (MAX. 1 INCH); METAL WIRE MESH; NONCOMBUSTIBLE; CORROSION RESISTANT.  
NO EAVE AND CORNICE VENTS.

\* ROOF TOP EQUIPMENT IS PROHIBITED IN THIS ZONE.

ROOF DRAINAGE CALC'S.

BASED ON JAY R. SMITH ENG. MANUAL

STEPS FOR CALCULATING DRAINAGE  
DETERMINE G.P.M. OF DRAINAGE FROM ROOF BY  
USING THE FOLLOWING FORMULA:  
 $G.P.M. = 0.0104 \times R \times A$   
R = RAINFALL INTENSITY- INCHES PER HOUR  
A = TRIBUTARY AREA OF ROOF- SQUARE FEET  
0.0104 = CONVERSION FACTOR-GPM / SQ. FT. FOR ONE INCH/HR RAINFALL  
RAINFALL INTENSITY = 4" PER HOUR

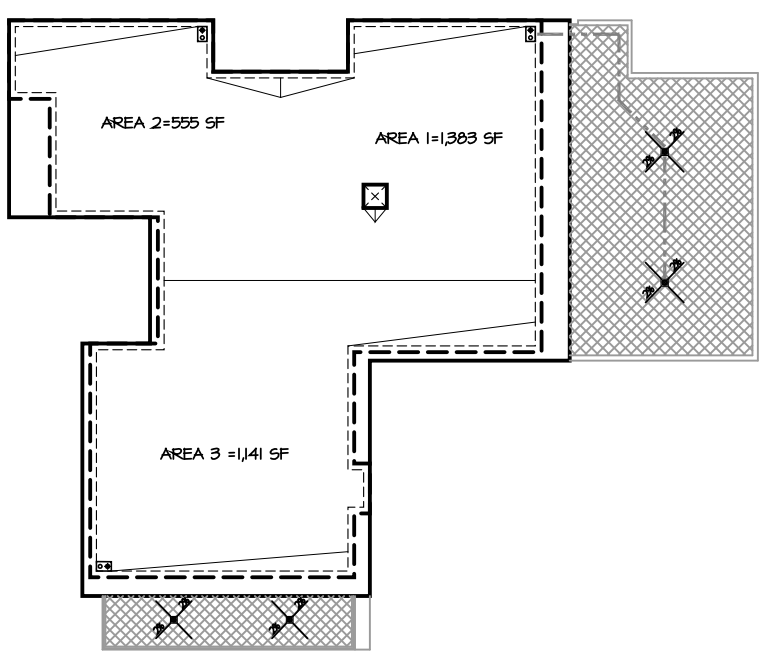
ROOF AREA (I) = 1,303 SQ. FT.  
G.P.M. ROOF AREA (I) =  $0.0104 \times 1,303 \times 4 = 50$  GPM  
PROVIDED 1, 3" DIAMETER VERTICAL LEADERS, THEREFOR O.K.

ROOF AREA (2) = 555 SQ. FT.  
G.P.M. ROOF AREA(1) =  $0.0104 \times 555 \times 4 = 23$  GPM  
PROVIDED 2, 3" DIAMETER VERTICAL LEADER, THEREFOR O.K.

ROOF AREA (3) = 1141 SQ. FT.  
G.P.M. ROOF AREA(1) = 0.0104 x 1141 x 4 = 48 GPM  
PROVIDED 1, 3" DIAMETER VERTICAL LEADER, THEREFOR O.K.

BASED ON THE ALLOWABLE FLOW TABLE BELOW A 3" DIAMETER PIPE LEADER HAS A FLOW CAPACITY OF 90 GPM VERTICALLY, THEREFOR THE LARGEST TRIBUTARY ROOF AREA, WHICH PRODUCES 40.75 GPM OF RAINFALL RUN-OFF @ 4"/HOUR CAN READILY BE SERVICED WITH A 3" DIAMETER DRAIN PIPE LEADER.

ALLOWABLE FLOW FOR VERTICAL LEADERS AND HORIZONTAL STORM DRAIN				
ALLOWABLE FLOW IN G.P.M.				
PIPE SIZE DIA. INCH	VERTICAL LEADER G.P.M.	HORIZONTAL STORM DRAIN SLOPE PER FOOT		
		1/8"	1/4"	1/2"
2	30	12	17	24
3	90	36	51	72
4	192	76	111	151
5	348	142	201	284
6	566	231	327	462



# 1 ROOF PLAN

SCALE: 1/8"=1'-0"

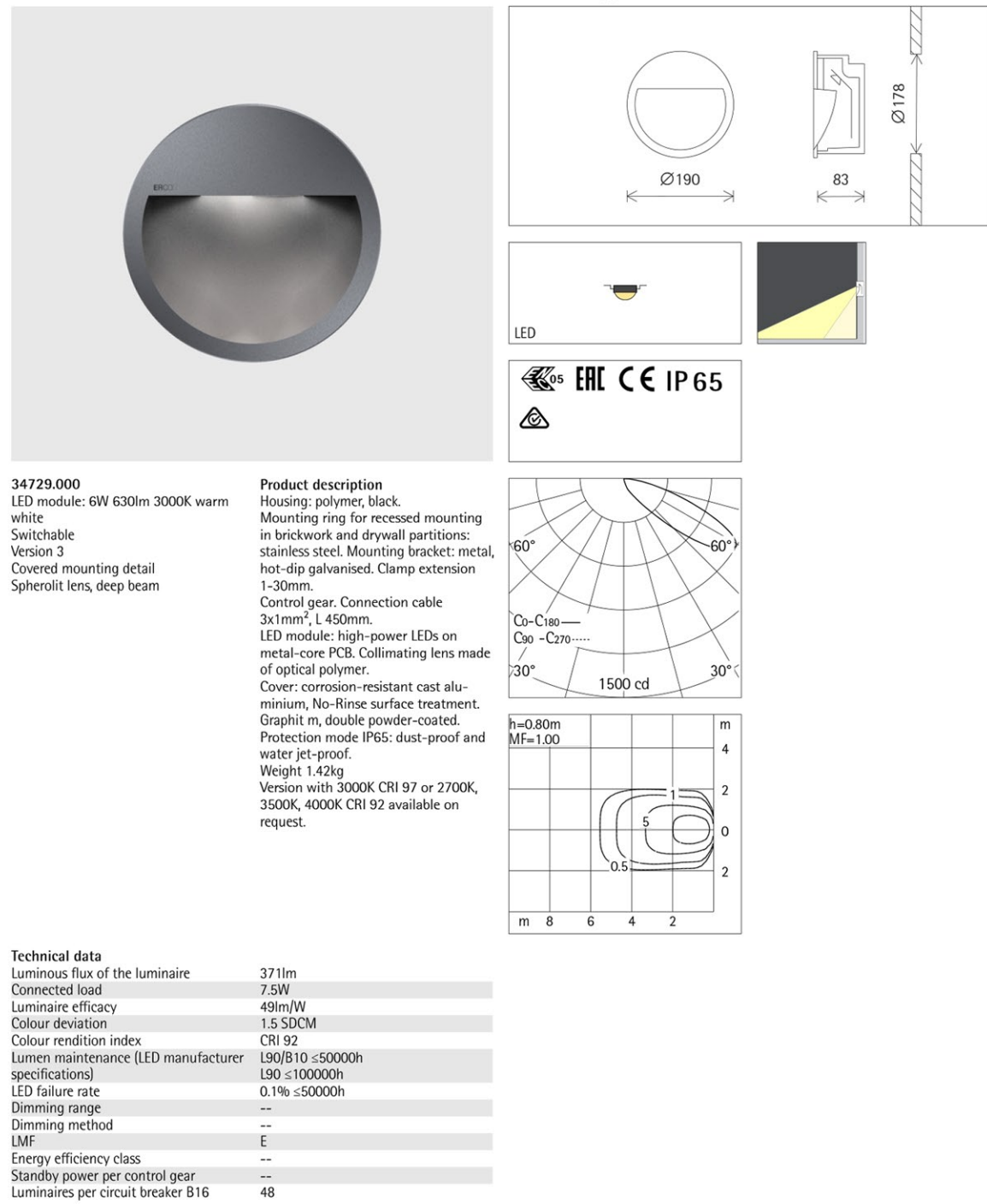




1 LIGHTING PLAN  
SCALE: 1/8" = 1'-0"

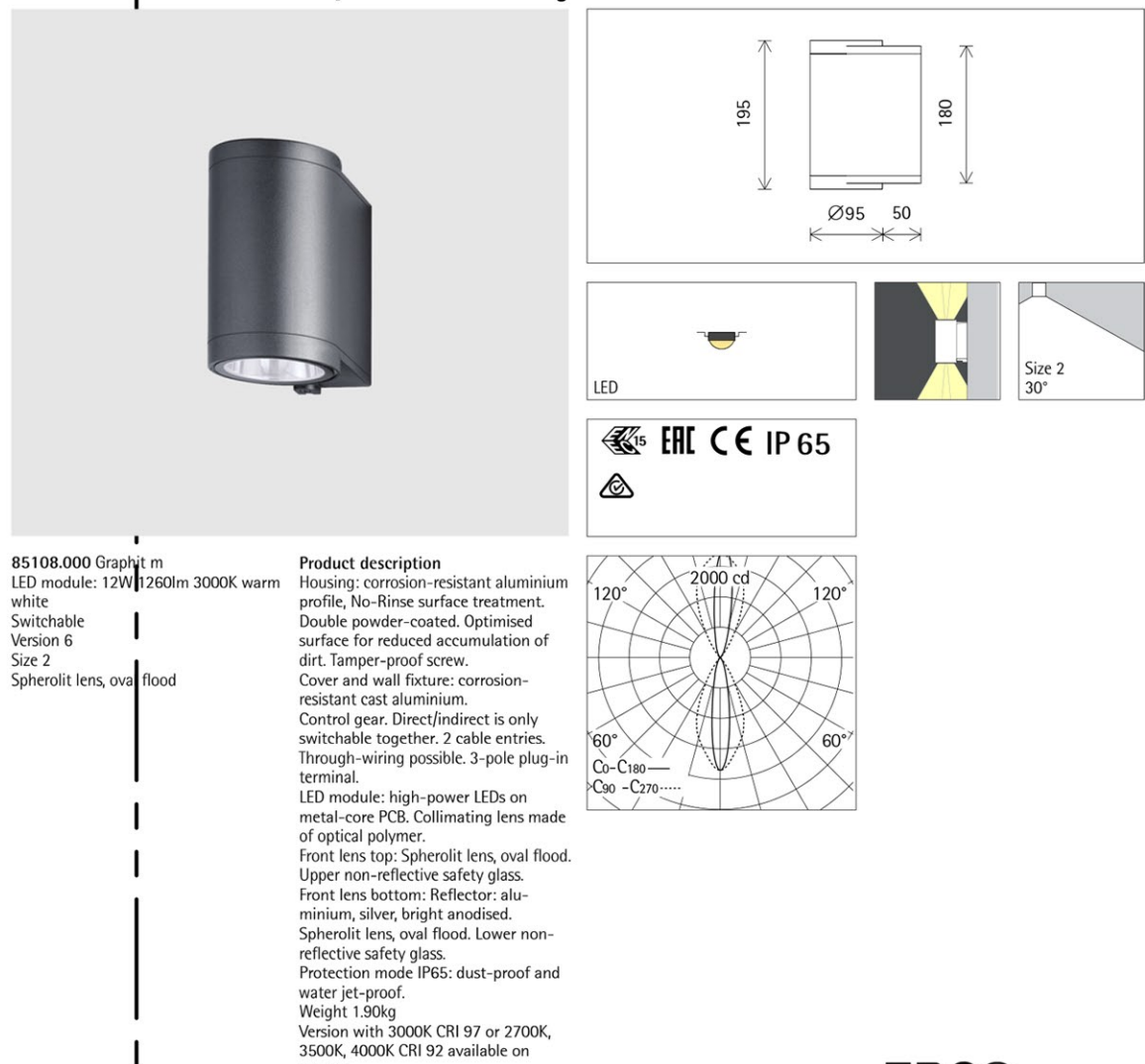
## ERCO Visor Floor washlight

1



## ERCO Cylinder Façade luminaire

2



## ERCO Tesis In-ground luminaire

3



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GLENDALE, CA**

Project Name:  
**SINGLE FAMILY DWELLING**

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## LIGHTING PLAN

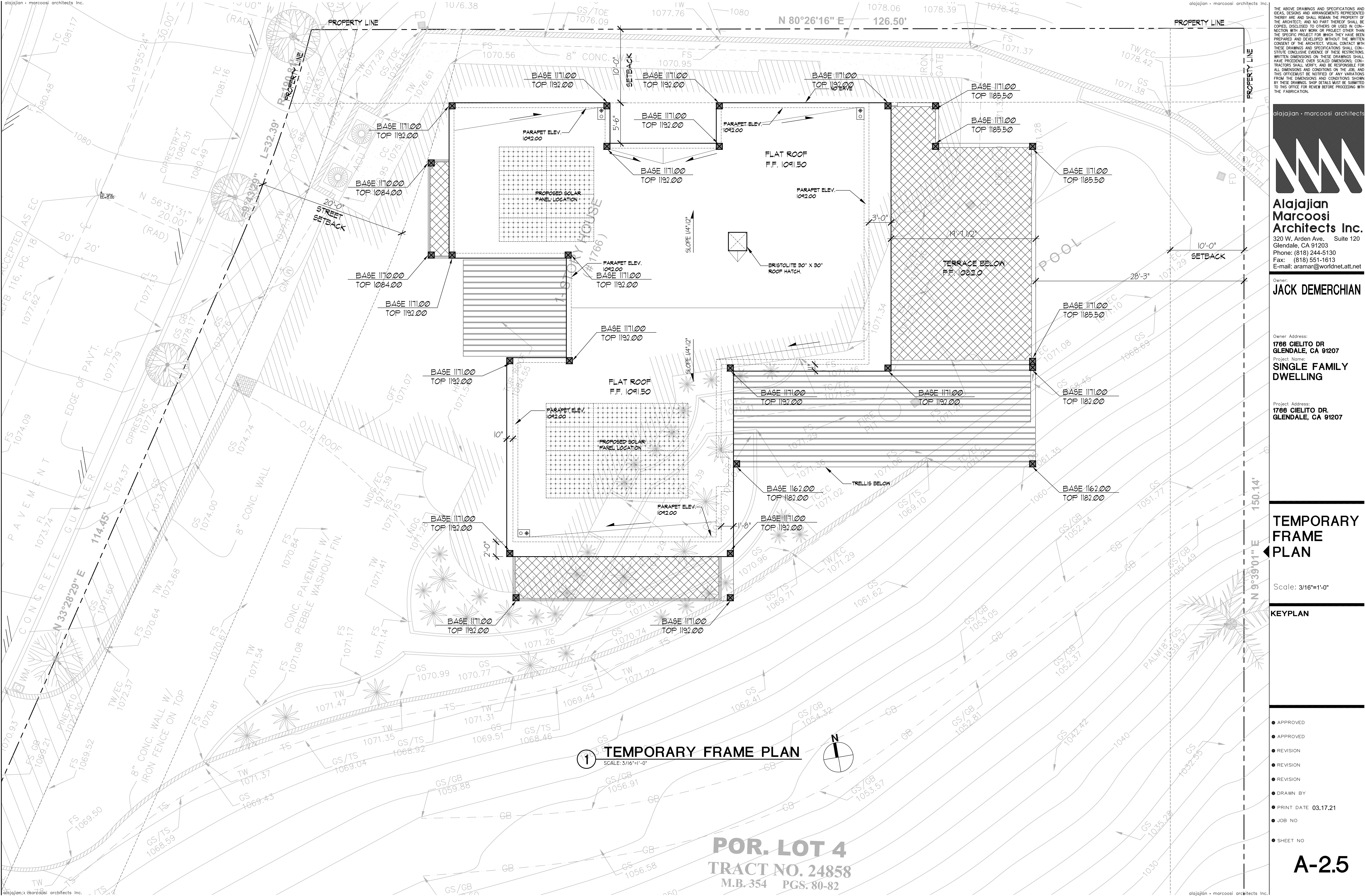
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**TEMPORARY  
FRAME  
PLAN**

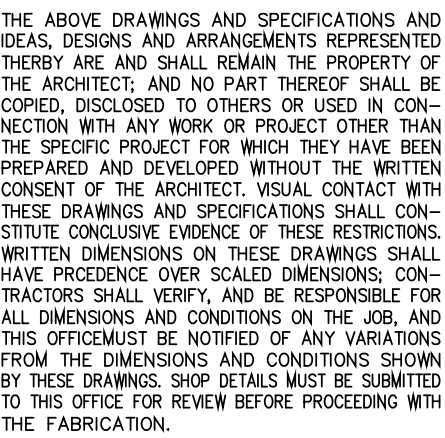
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**A-2.5**





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Owner Address:

Project Name:

Project Address

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GLENDALE, CA 91207

Scale: 1/8"=1'-0"

## KEYPLAN

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● APPROVED

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## WEST AND EAST COLOR ELEVATIONS

Scale: 1/8"=1'-0"

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# A-3.1a



## 1 WEST ELEVATION

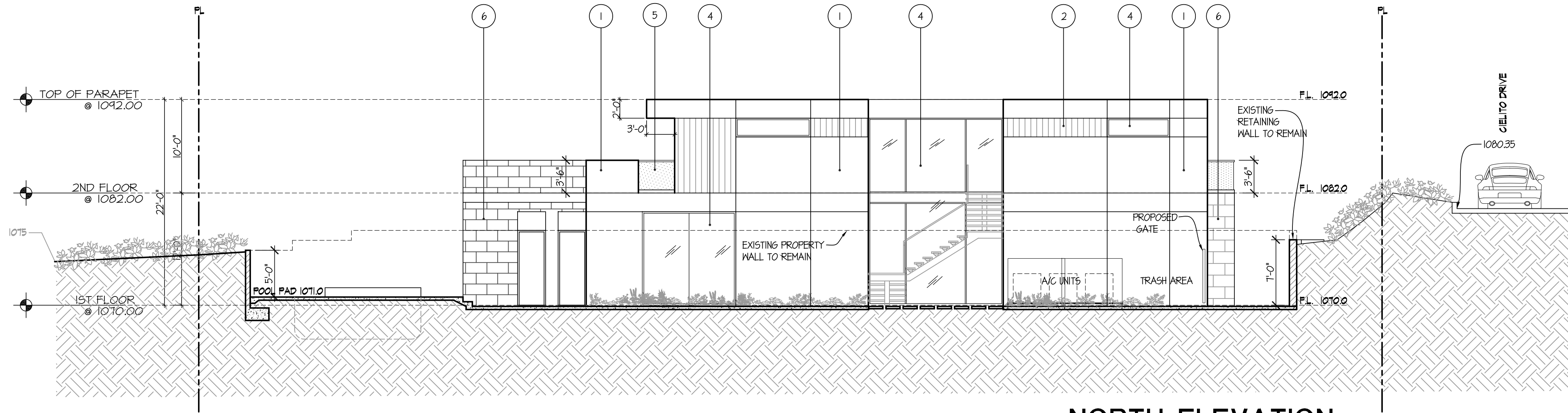
SCALE: 1/8"=1'-0"



## 2 EAST ELEVATION

SCALE: 1/8"=1'-0"

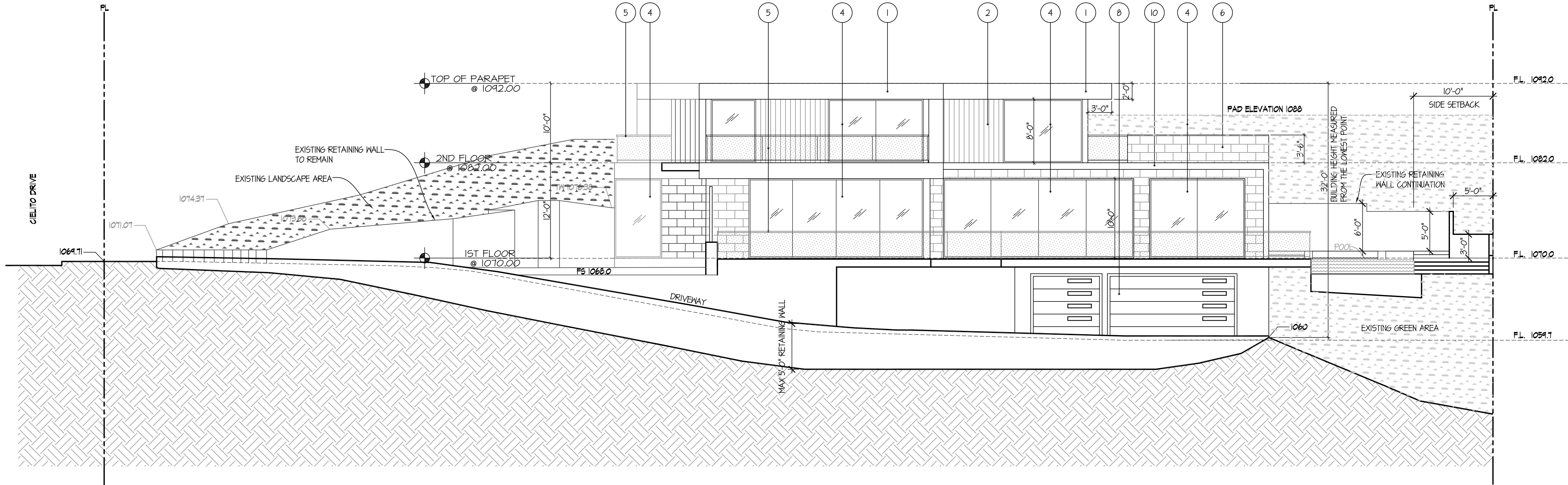




1 NORTH ELEVATION  
SCALE: 1/8"=1'-0"

EXTERIOR FINISH MATERIALS:

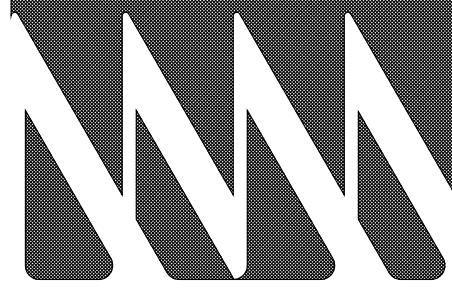
1. 1/8" THK. SMOOTH FINISH CEMENT PLASTER, "OMEGA PRODUCTS INTERNATIONAL" OMEGA FLEX FINE # 4211
2. BRAZILIAN HARDWOOD PLANK SIDING 6" X 3/4" THICK, EXTERIOR GRADE.
3. 8"x12" STEEL TUBE TRELLIS
4. WINDOW TRICORN COLOR "SM 6258" ANODIZED ALUMINUM DOOR AND WINDOW FRAME W/ DUAL GLAZED LOW "E" VISION GLASS BY MARVIN OR EQUAL
5. 1/2" THICK TEMPERED GLASS RAILING W/ BRUSHED CLEAR ANODIZED ALUMINUM BASE SHOE (TYP). SEE SHEET A-6.3 FOR DETAIL
6. 3/4" TO 1-1/2" THK. FRENCH NATURAL LIMESTONE MASONRY VENEER DRY SET OVER CEMENT PLASTER BACKING.
7. 9" HIGH, 3/4" STROKE, STAINLESS STEEL INDIVIDUAL ADDRESS NUMBERS ON CONTRASTING STONE VENEER BACKGROUND.
8. TRICORN COLOR "SM 6258" ALUMINUM GARAGE DOOR FRAME WITH FROSTED GLASS.
9. 3" DIAMETER DOWN DRAIN AND OVERFLOW FROM ROOF DRAIN THROUGH WALL
10. 6"x10" STEEL TUBE TRELLIS



2 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

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**NORTH AND SOUTH ELEVATIONS**

Scale: "1"=1'-0"

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**A-3.2**



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1 NORTH ELEVATION  
SCALE: 1/8"=1'-0"

EXTERIOR FINISH MATERIALS:

1. 1/8" THK. SMOOTH FINISH CEMENT PLASTER, 'OMEGA PRODUCTS' INTERNATIONAL "OMEGA FLEX FINE # 9211
2. BRAZILIAN HARDWOOD PLANK SIDING 6" X 3/4" THICK, EXTERIOR GRADE.
3. 8"X12" STEEL TUBE TRELLIS
4. WINDOW TRICORN COLOR "SM 6250" ANODIZED ALUMINUM DOOR AND WINDOW FRAME W/ DUAL GLAZED LOW "E" VISION GLASS BY MARVIN OR EQUAL
5. 1/2" THICK TEMPERED GLASS RAILING W/ BRUSHED CLEAR ANODIZED ALUMINUM BASE SHOE (TYP). SEE SHEET A-6.3 FOR DETAIL
6. 3/4" TO 1-1/2" THK. FRENCH NATURAL LIMESTONE MASONRY VENEER DRY SET OVER CEMENT PLASTER BACKING.
7. 4" HIGH, 3/4" STROKE, STAINLESS STEEL INDIVIDUAL ADDRESS NUMBERS ON CONTRASTING STONE VENEER BACKGROUND.
8. TRICORN COLOR "SM 6250" ALUMINUM GARAGE DOOR FRAME WITH FROSTED GLASS.
9. 3" DIAMETER DOWN DRAIN AND OVERFLOW FROM ROOF DRAIN THROUGH WALL
10. 6"X10" STEEL TUBE TRELLIS



2 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

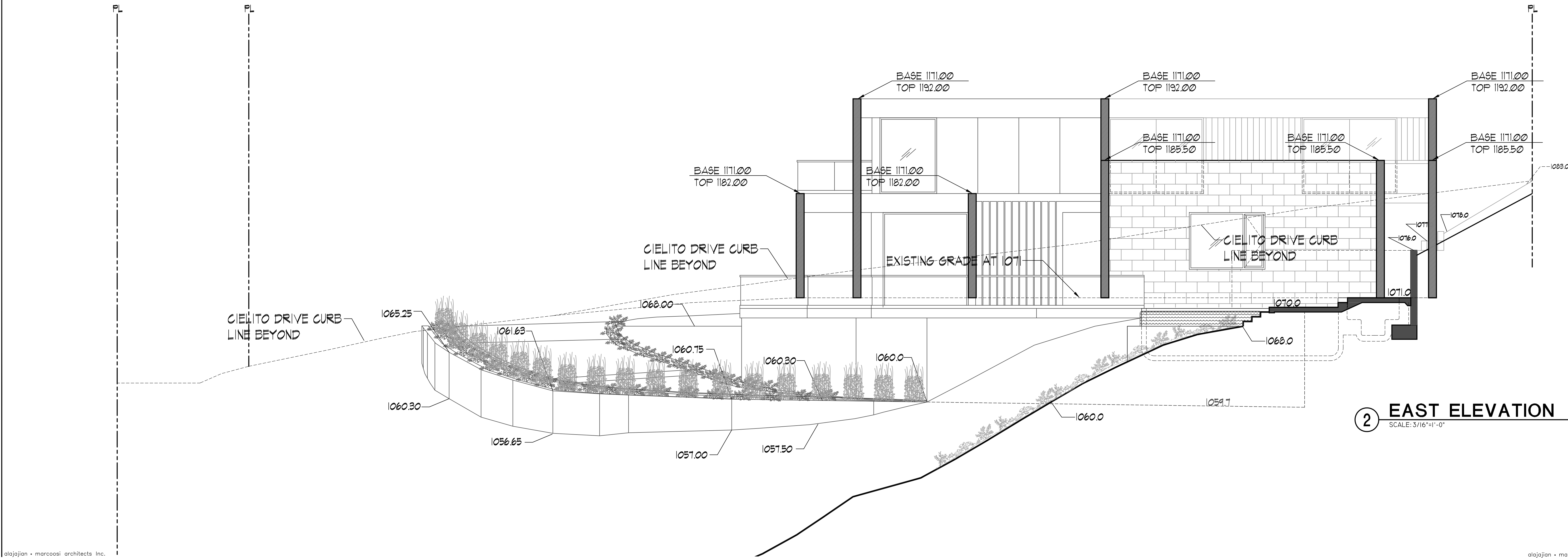
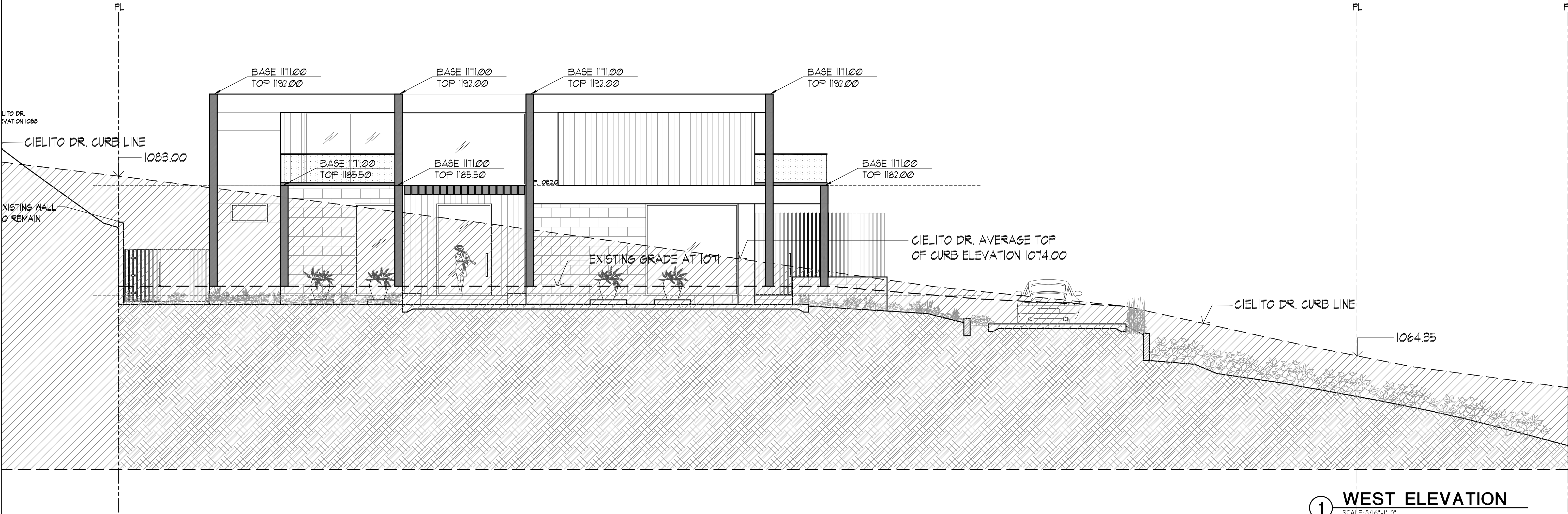
NORTH AND SOUTH  
COLOR  
ELEVATIONS

Scale: 1/8"=1'-0"

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A-3.2a





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## TEMPORARY FRAME ELEVATIONS

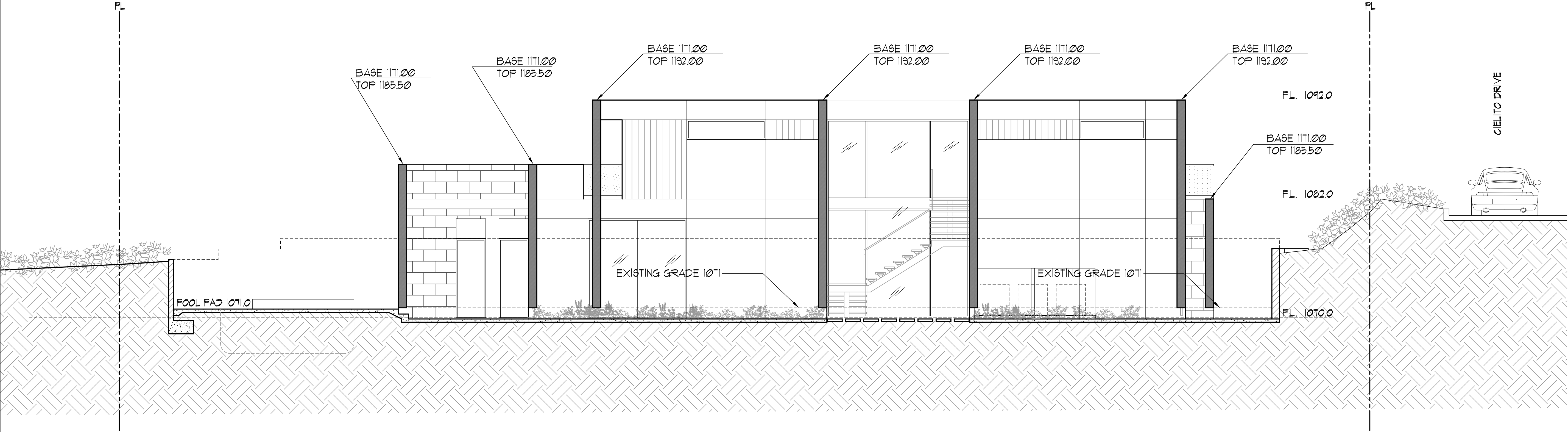
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### KEYPLAN

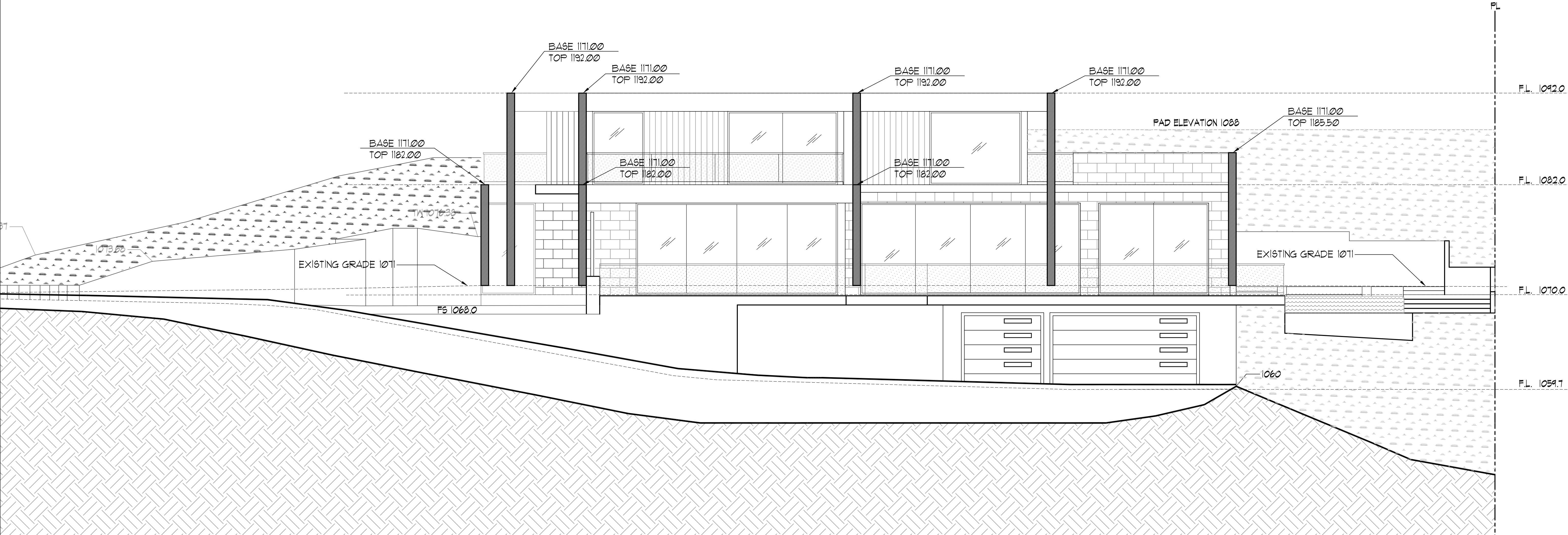
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**A-3.3**





1 NORTH ELEVATION  
SCALE: 3/16"=1'-0"



2 SOUTH ELEVATION  
SCALE: 3/16"=1'-0"

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**TEMPORARY  
FRAME  
ELEVATIONS**

Scale: 3/16"=1'-0"

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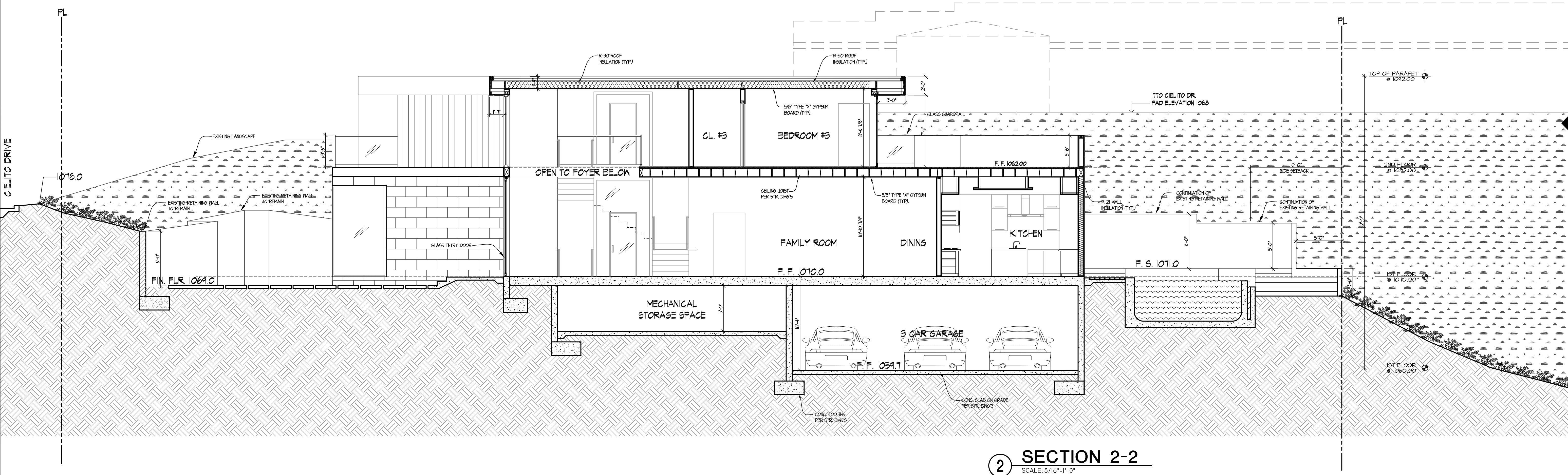
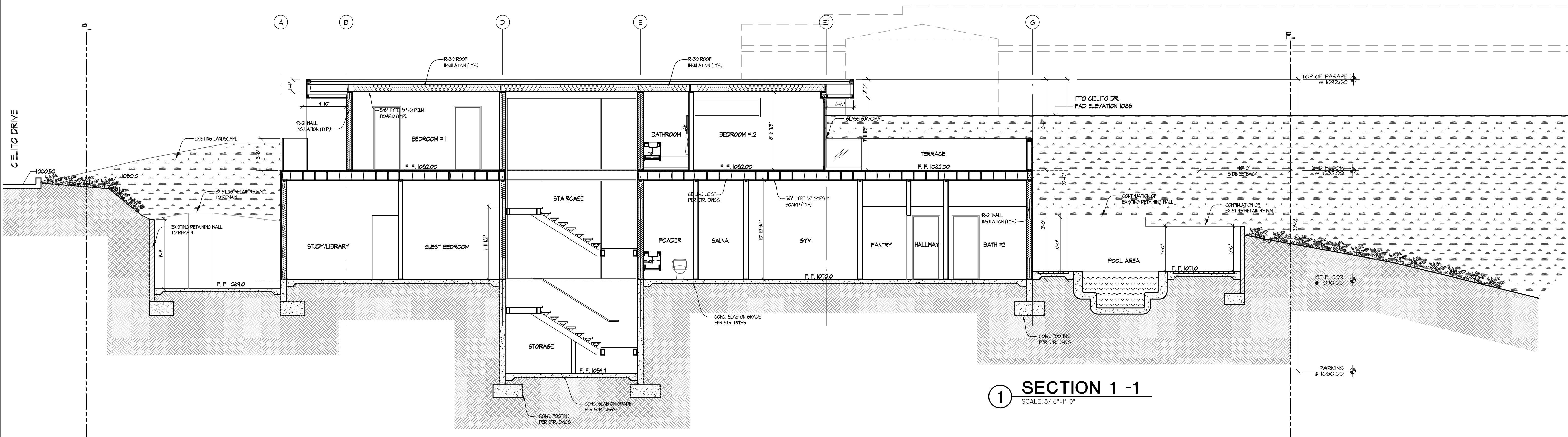
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Scale: 3/16"=1'-0"

## KEYPLAN

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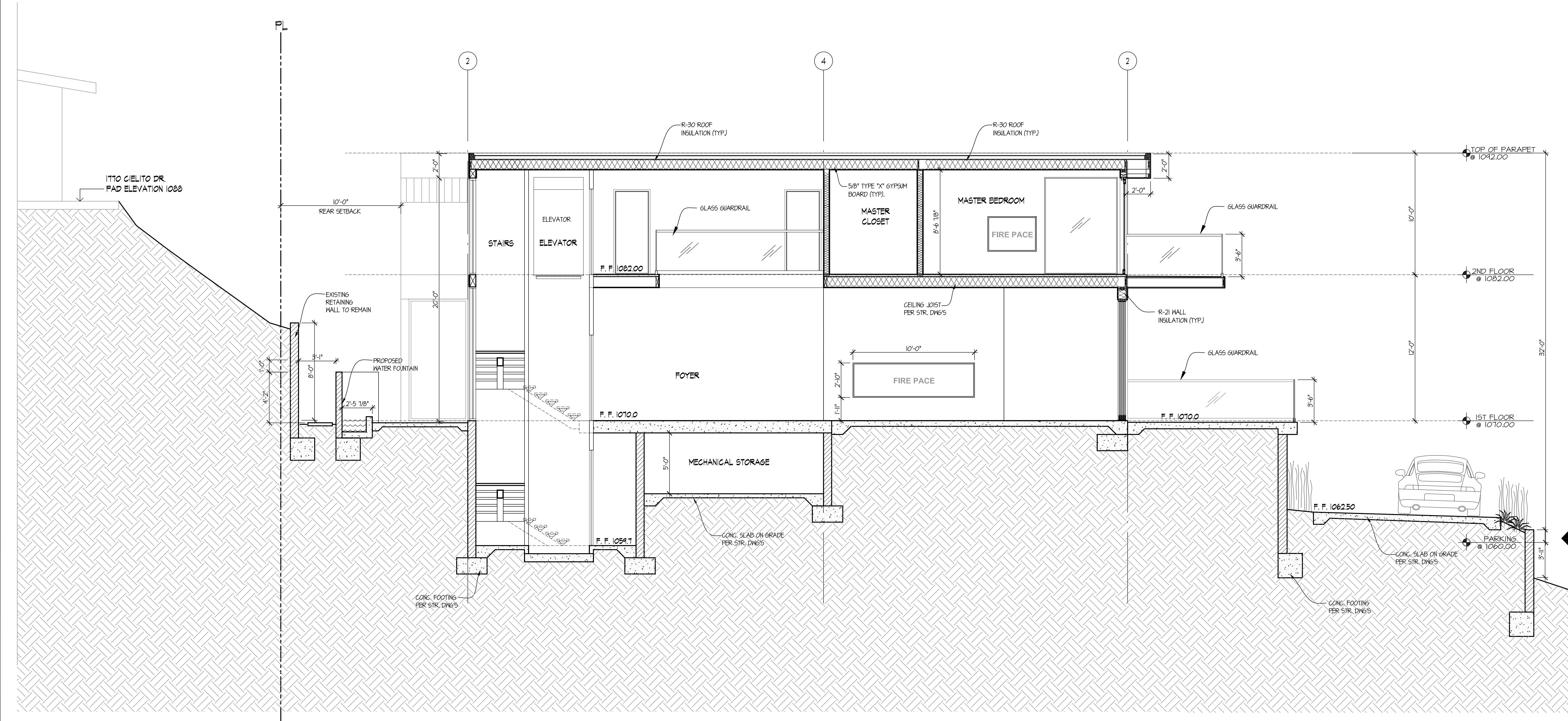
## SECTION A-A

Scale: 3/16"=1'-0"

### KEYPLAN

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- REVISION
- REVISION
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# A-4.2



## 1 SECTION A-A

SCALE: 1/4"=1'-0"



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**1766 CIELITO DR  
GLENDALE, CA 91207**  
Project Name:  
**SINGLE FAMILY DWELLING**

Project Address:  
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GLENDALE, CA 91207**

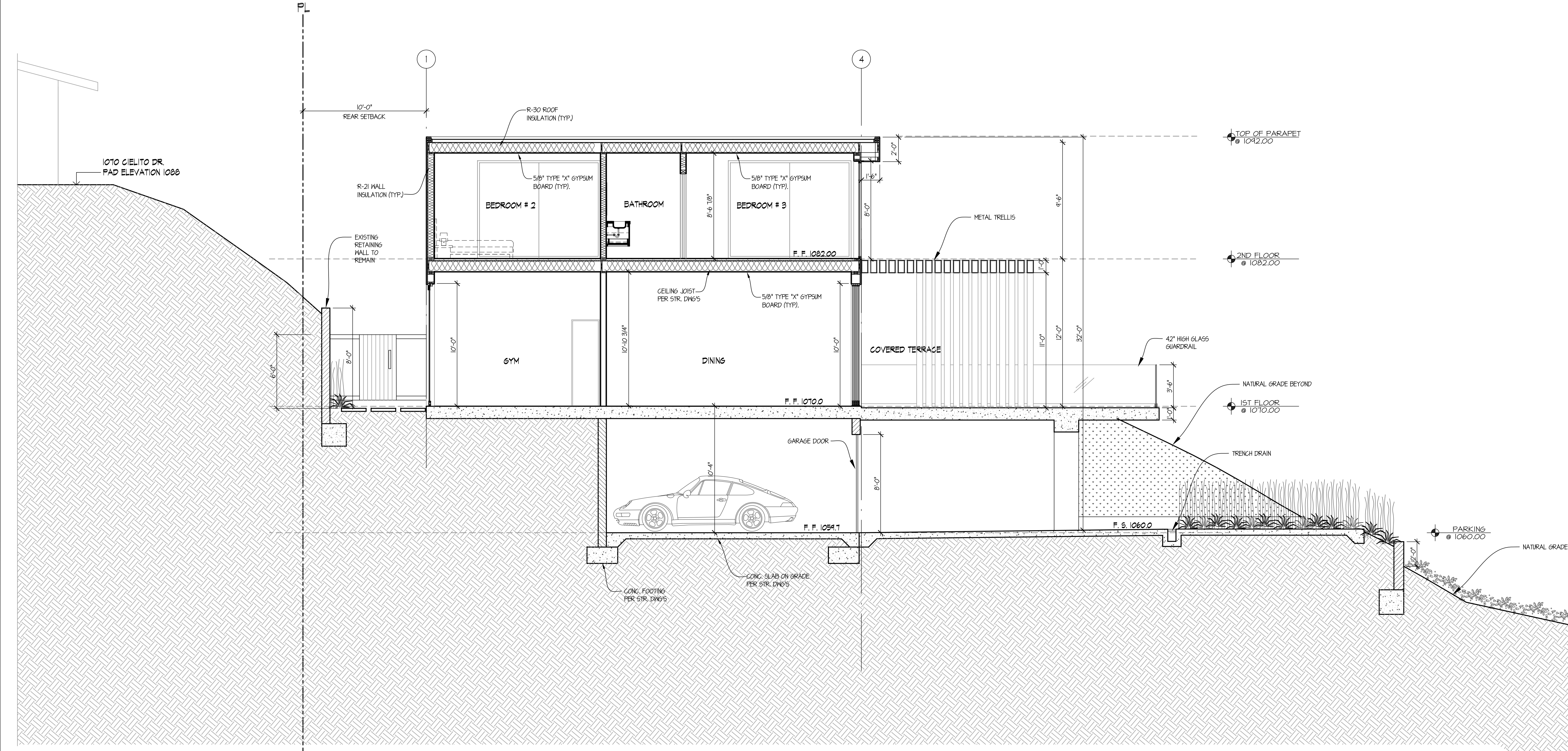
## SECTION B-B

Scale: 1/4"=1'-0"

### KEYPLAN

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 03.17.21
- JOB NO
- SHEET NO

# A-4.3



## SECTION B-B

SCALE: 1/4"=1'-0"



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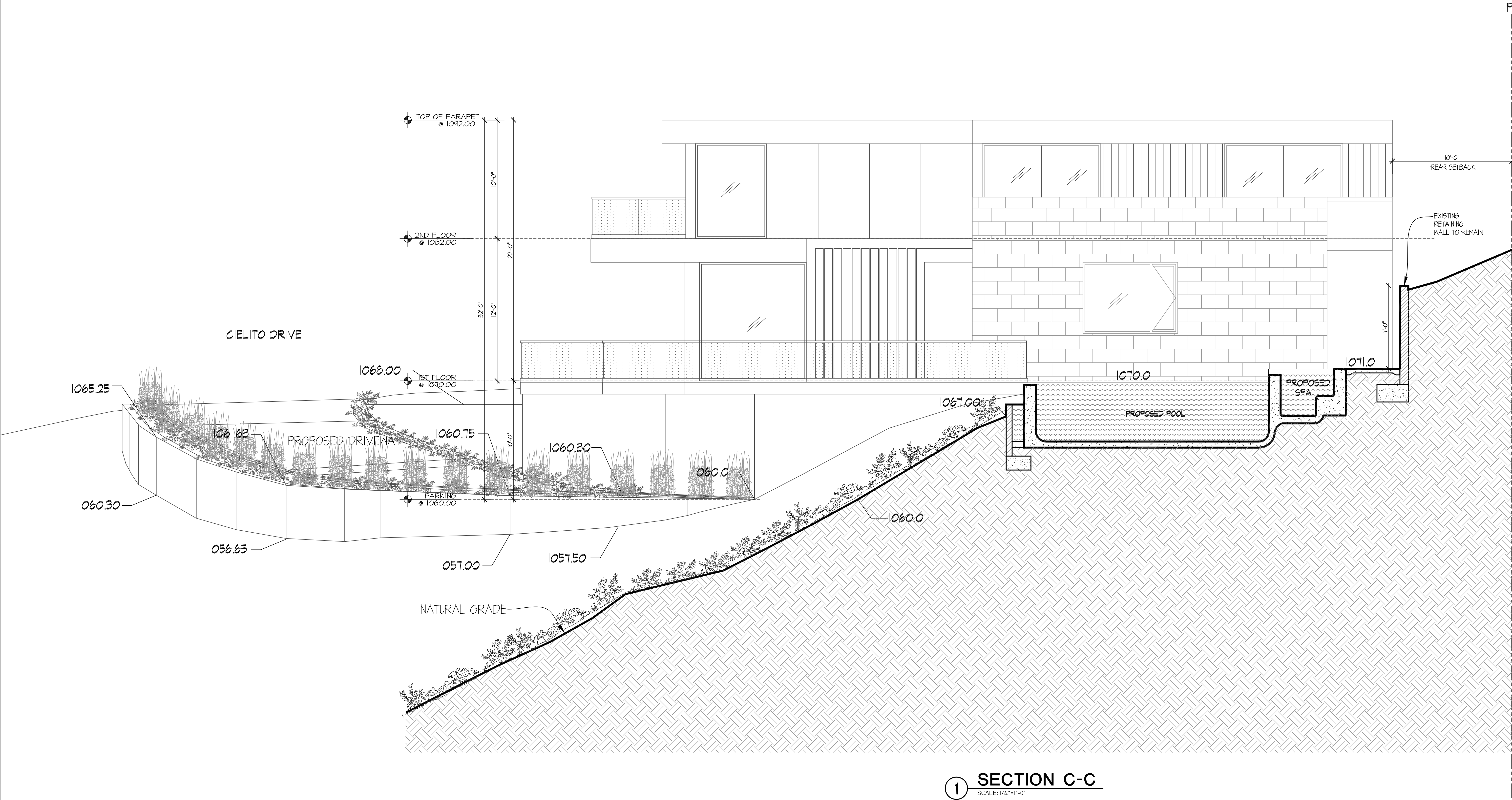
## SECTION C-C

Scale: 1/4"=1'-0"

### KEYPLAN

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 03.17.21
- JOB NO
- SHEET NO

# A-4.4





DOOR SYMBOL		DOOR SCHEDULE													
ROOM NUMBER	LOCATION	DOOR SIZE			FIRE RATING 1-1/2 HR 1-0 HR 20 MIN	MATERIAL		GLASS		QTY	DOOR TYPE	REMARKS	DOOR NOTES	SECURITY OPENING	
		WIDTH	HEIGHT	THK.		FRAME	DOOR	SINGLE DUAL	TEMP. FLOAT						
GARAGE	001 GARAGE	16'-0"	8'-0"	MANUF. SPECS.		● ALUM.	ALUM			1	L	MANUF. SPEC. HDWRE.	1, 3, 4, 6, 8, 11, 13	★	
	002 GARAGE	8'-0"	8'-0"	MANUF. SPECS.		● ALUM.	ALUM			1	M	MANUF. SPEC. HDWRE.	1, 3, 4, 6, 8, 11, 13	★	
	003 GARAGE	3'-0"	6'-8"	1 3/4"		● WOOD	S.CORE WOOD			1	G	PAINT FINISH	2, 5, 8, 9	★	
	004 STORAGE	3'-0"	6'-8"	1 3/4"		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 5, 8, 9		
	005 MECHANICAL	3'-6"	4'-8"	1 3/4"		WOOD	S.CORE WOOD			1	K				
FIRST FLOOR	101 ENTRY	6'-0"	10'-0"	MANUF. SPECS.		ALUM.	FROSTED GLASS	DUAL	TEMP.	1	A	10" KICK PLATE MANUF. SPEC. HDWRE.	1, 3, 4, 8, 11, 13	★	
	102 LIVING ROOM	22'-0"	10'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	B	SLIDING DOORS	13	★	
	103 FAMILY ROOM	24'-0"	10'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	C	SLIDING DOORS	13	★	
	104 KITCHEN	12'-0"	10'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	D	SLIDING DOORS	13	★	
	105 DINING ROOM	6'-0"	8'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	E	FOLDING DOORS			
	106 KITCHEN	3'-0"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	J	POCKET DOOR	2, 5, 8, 9		
	107 PANTRY	3'-0"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	J	POCKET DOOR	2, 5, 8, 9		
	108 HALLWAY	3'-0"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 5, 8, 9	★	
	109 BATHROOM #2	3'-0"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 8	★	
	110 GYM	2'-0"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 8		
	111 GYM	10'-0"	8'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	D	SLIDING DOOR	1, 3, 4, 6, 8, 11, 13	★	
	112 SAUNA	3'-0"	8'-0"			ALUM.	GLASS	DUAL	TEMP.	1	G				
	114 POWDER ROOM	2'-8"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	G	PAINT FINISH	1, 3, 4, 6, 8, 11, 13		
	115 CLOSET #1	4'-0"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	F	SLIDING DOOR	1, 3, 4, 6, 8, 11, 13		
	116 CLOSET	3'-0"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	G	PAINT FINISH	2, 8		
	117 STUDY / LIBRARY	3'-0"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 8		
	SECOND FLOOR	118 BATHROOM #1	2'-10"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	J	PAINT FINISH	2, 8	
119 BATHROOM #1		2'-10"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	J	PAINT FINISH	2, 8		
120 GUEST BEDROOM		3'-0"	8'-0"	1 3/4"		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 8		
201 MASTER BEDROOM		12'-0"	8'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	D	SLIDING DOOR		★	
202 MASTER BATHROOM		3'-6"	9'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	H	10" KICK PLATE MANUF. SPEC. HDWRE.	1, 3, 4, 6, 8, 11, 13	★	
203 MASTER BEDRM		3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	J	SLIDING DOOR	2, 8		
204 MASTER BEDRM		5'-0"	7'-0"	MANUF. SPECS.		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 8		
205 BEDROOM #3		3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	G	PAINT FINISH	2, 8		
206 BEDROOM #3		10'-0"	8'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	D	SLIDING DOORS	13	★	
207 BATHROOM #3		3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	G	PAINT FINISH	2, 8		
208 CLOSET #3		3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 8		
209 LAUNDRY		3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 8		
210 BEDROOM #2		3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	G	PAINT FINISH	2, 8		
211 CLOSET #4		3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	G	PAINT FINISH	2, 8		
212 BEDROOM #2		10'-0"	8'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	D	SLIDING DOORS	13	★	
213 BATHROOM #4		3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	G	PAINT FINISH	2, 8		
214 BEDROOM #1		3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	H	PAINT FINISH	2, 8		
215 BEDROOM #1	10'-0"	8'-0"	MANUF. SPECS.		ALUM.	GLASS	DUAL	TEMP.	1	D	SLIDING DOORS	13	★		
216 BATHROOM #5	3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	G	PAINT FINISH	2, 8			
217 CLOSET #5	3'-0"	7'-0"	1 3/4"		WOOD	S.CORE WOOD			1	G	PAINT FINISH	2, 8			

### DOOR AND WINDOW NOTES

- CONTRACTOR TO VERIFY EXACT WIDTH AND HEIGHT OF DOOR AND WINDOW ROUGH OPENINGS ON JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF AFOREMENTIONED ASSEMBLIES.
- PROVIDE A MINIMUM OF ONE EXTERIOR LAYER OF **TEMPERED GLASS** (1/2" THK. MIN.) AT ALL DUAL, GLAZED EXTERIOR DOORS AND WINDOWS PER **SECTION R321.8.2.1, ITEM 1, OF 2010 CALIFORNIA RESIDENTIAL CODE**
  - PROVIDE PASSAGE WITH LOCKING DEVICE FROM INSIDE
  - PROVIDE KEY LOCK ON OPPOSITE SIDE OF DIRECTION OF EXIT AND DEAD BOLT OR STATIONARY SIDE OF DOUBLE DOORS ONLY
  - PROVIDE PRIVACY LOCK, KEYPED FROM OUTSIDE WITH MORTISE LOCK RELEASE FROM INSIDE WITH LEVER ACTION
  - PROVIDE DEAD BOLT WITH KEYPED LOOKING CAPABILITY.
  - PROVIDE LEVER TYPE HARDWARE
  - PROVIDE SECURITY LOCK, SHIELD ON EXTERIOR SIDE.
  - PROVIDE MALL OR FLOOR MOUNTED DOOR STOP AS APPLICABLE.
  - PROVIDE SELF CLOSING DEVICE
  - PROVIDE SMOKE PROOF GASKET AT DOOR FRAME.
  - PROVIDE THRESHOLD AND WEATHER STRIPPING
  - PROVIDE PULL HARDWARE AT SLIDING WARDROBE DOORS
  - MANUFACTURER'S SPECIFIED STANDARD HARDWARE SELECTED BY ARCHITECT

### EXTERIOR WINDOWS AND DOORS (CBC 708A)

- WINDOWS AND GLAZED DOORS: CONSTRUCTED OF MULTIPANE GLAZING WITH MINIMUM OF ONE TEMPERED PLANE, GLASS BLOCK UNITS, 20 MIN. FIRE-RESISTANT RATINGS OR SFS STANDARD 12-TA-2
- DOORS: NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, SOLID WOOD CORE 1-3/8 INCH MINIMUM WIDTH, 20 MINUTE FIRE-RESISTANT RATING, SFM STANDARD 12-TA-1.

#### GLAZING NOTE:

ALL GLAZING SHALL BE CLEAR DUAL GLAZED, TEMPERED WHERE REQUIRED BY CODE. PER 2010 CRC SEC. R321.8

#### RESIDENTIAL SECURITY NOTE:

ALL DOORS AND WINDOWS MARKED BY ★ ARE SECURITY OPENINGS AND SHALL COMPLY WITH ORDINANCE NO. 5581, VOLUME VII, SEE ALSO SECURITY NOTES ON SHEET A-12

PER SECTION 310.4 CBC ESCAPE OR RESCUE WINDOW SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MIN. NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MIN. NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

ALL RESCUE WINDOWS SHALL BE HORIZONTAL SLIDERS, SINGLE OR DOUBLE HUNG CASEMENT TYPE WINDOWS. VENT TYPE WINDOWS ARE NOT ACCEPTABLE FOR RESCUE WINDOWS.

### FINISH NOTES

- USE FINE BROOM FINISH @ STAIR WELLS, PEDESTRIAN WALKS, LANDINGS & RAMPS.
- SKIM COAT PLASTER ONLY @ WALLS. OF STAIRS TO BASEMENT
- PROVIDE SMOOTH FINISH AT ALL INTERIOR FLOOR TO RECEIVE FUTURE FINISH FLOORING
- PROVIDE REQD. NUMBER OF GYP. BRD. TAPED & PRIMED PER PLANS & SPEC'S @ FRAMED STRUCTURES & EXPOSED CONCRETE ELSEWHERE.
- USE SEMI-GLOSS PAINT @ EXPOSED SURFACES OF WALLS & CEILING (WHERE APPLICABLE)
- PROVIDE 5/8" HAT CHANNELS @ 16" O.C. @ CONCRETE OR CMU SURFACES PRIOR TO INSTALLATION OF DRYWALL (TYF) WHERE DRYWALL SPECIFIED
- PROVIDE 6/1 SHEET METAL PAN AT FLOOR W/ 4" DEEP WALLS UP THE LAUNDRY WALLS 1" @ DOOR W/ 2" DRAIN CONNECTED TO DRAINAGE SYSTEM

#### PAINT FINISH:

METAL DOORS AND FRAMES:  
ONE COAT OF METAL PRIMER W/ TWO COATS OF OIL BASE SEMI-GLOSS FINISH-COLOR TO BE MATCH ELEVATION SPECIFICATIONS.

#### WOOD DOOR AND FRAME:

ONE COAT OF WOOD PRIMER W/ TWO COATS OF SEMI-GLOSS DUNN EDWARDS ACRYLIC BASE PAINT @ ALL INTERIOR DOORS UNLO.

#### ENTRY WOOD DOORS:

SANDED W/ FINEST SANDPAPER AND CLEAN AND PREPARE FOR STAIN FINISH APPLICATION PER SPECIFICATIONS ON ELEVATIONS.

#### NOTE:

ALL ALUMINUM DOORS AND WINDOWS ARE FLEETWOOD OR EQUAL.

WINDOW SYMBOL							WINDOW SCHEDULE							
WINDOW NUMBER	TYPE	LOCATION	WINDOW SIZE			SILL HT.	MATERIAL		GLAZING		REMARKS	WINDOW NOTES	SECURITY OPENING	
			WIDTH	HEIGHT	THICK.		FRAME	WINDOW	SINGLE DUAL	TEMP. PLATE				
FIRST FLOOR	101	A	STUDY ROOM	4'-10"	10'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX		★
	102	A	STUDY ROOM	4'-10"	10'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	103	C	BATHROOM #1	4'-10"	2'-0"	MFG. SPECS	8'-0"	ALUM.	GLASS	DUAL	TEMP	SLIDING	1, 13	★
	104	A	GUEST BEDROOM	4'-10"	10'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	105	D	STAIRS	14'-5"	11'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	106	A	POWDER ROOM	4'-10"	10'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	107	B	KITCHEN	8'-0"	6'-0"	MFG. SPECS	4'-0"	ALUM.	GLASS	DUAL	TEMP	FIX/CASEMENT	1, 13	★
	108	A	LIVING ROOM	9'-0"	10'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	109	A	LIVING ROOM	10'-0"	10'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
SECOND FLOOR	201	A	MASTER BATHROOM	5'-8"	8'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	202	A	MASTER BEDROOM	6'-0"	8'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	203	A	BEDROOM #3	10'-0"	8'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	204	D	STAIRS	14'-5"	8'-0"	MFG. SPECS	0'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	205	C	BATHROOM #5	6'-0"	2'-0"	MFG. SPECS	6'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★
	206	C	BEDROOM #2	8'-0"	2'-0"	MFG. SPECS	6'-0"	ALUM.	GLASS	DUAL	TEMP	FIX	1, 13	★

FINISH SCHEDULE																									
LOCATION	ROOM NAME	FLOOR				BASE				WALL				CEILING				REMARKS							
		CARPET	PORCELAIN TILE	EXPOSED SMOOTH CONC.	HARDWOOD FLOORING	CEMENT PLASTER	CERAMIC TILE	CARPET	4" TILE BASE	WOOD BASE	CERAMIC TILE	GYPSUM BOARD	CEMENT MONDER BRD.	PORCELAIN TILE	CEMENT PLASTER	PAINT - FLAT	PAINT - SEMI GLOSS		GYPSUM BOARD	5/8" GREEN BRD.	ACC. TILE ON 1" BAR SYS.	PAINT	STUCCO	NOTES	CEILING HEIGHT
FIRST FLOOR	GARAGE	•										•			•									8' 6"	
	ENTRY FOYER	•							•			•			•									8' 6"	
	STAIR TO 2ND FLOOR	•										•			•									8' 6"	
	POWDER ROOM	•						•				•			•									8' 6"	
	HALLWAY	•							•			•			•									8' 6"	
	CLOSET #1	•							•			•			•									8' 6"	
	DINING ROOM	•							•			•			•									8' 6"	
	FAMILY ROOM	•							•			•			•									8' 6"	
	LIVING ROOM	•							•			•			•										8' 6"
	KITCHEN	•							•			•			•										8' 6"
	BATHROOM #2	•						•				•			•										8' 6"
SECOND FLOOR	GUEST BEDROOM	•							•			•			•									8' 6"	
	BATHROOM #1	•						•			•			•										8' 6"	
	CLOSET #2	•							•			•			•									8' 6"	
	GYM	•							•			•			•									8' 6"	
	SAUNA	•																						8' 6"	
	SHOWERS	•										•												8' 6"	
	STUDY/LIBRARY		•						•			•			•									8' 6"	
	LAUNDRY ROOM	•										•			•									8' 6"	
	MASTER BEDROOM	•								•			•			•									8' 6"
	MASTER BATHROOM	•						•				•			•										8' 6"
	W.I. MASTER CLOSET		•						•			•			•										8' 6"
HALLWAY	•							•			•			•										8' 6"	
SHOWERS	•						•				•				•									8' 6"	
BALCONY	•						•																	8' 6"	
BEDROOM #1, #2 AND #3	•							•			•			•										8' 6"	
BATHROOM #3, #4, #5	•						•				•			•										8' 6"	
CLOSET #3, #4, AND #5	•							•			•			•										8' 6"	



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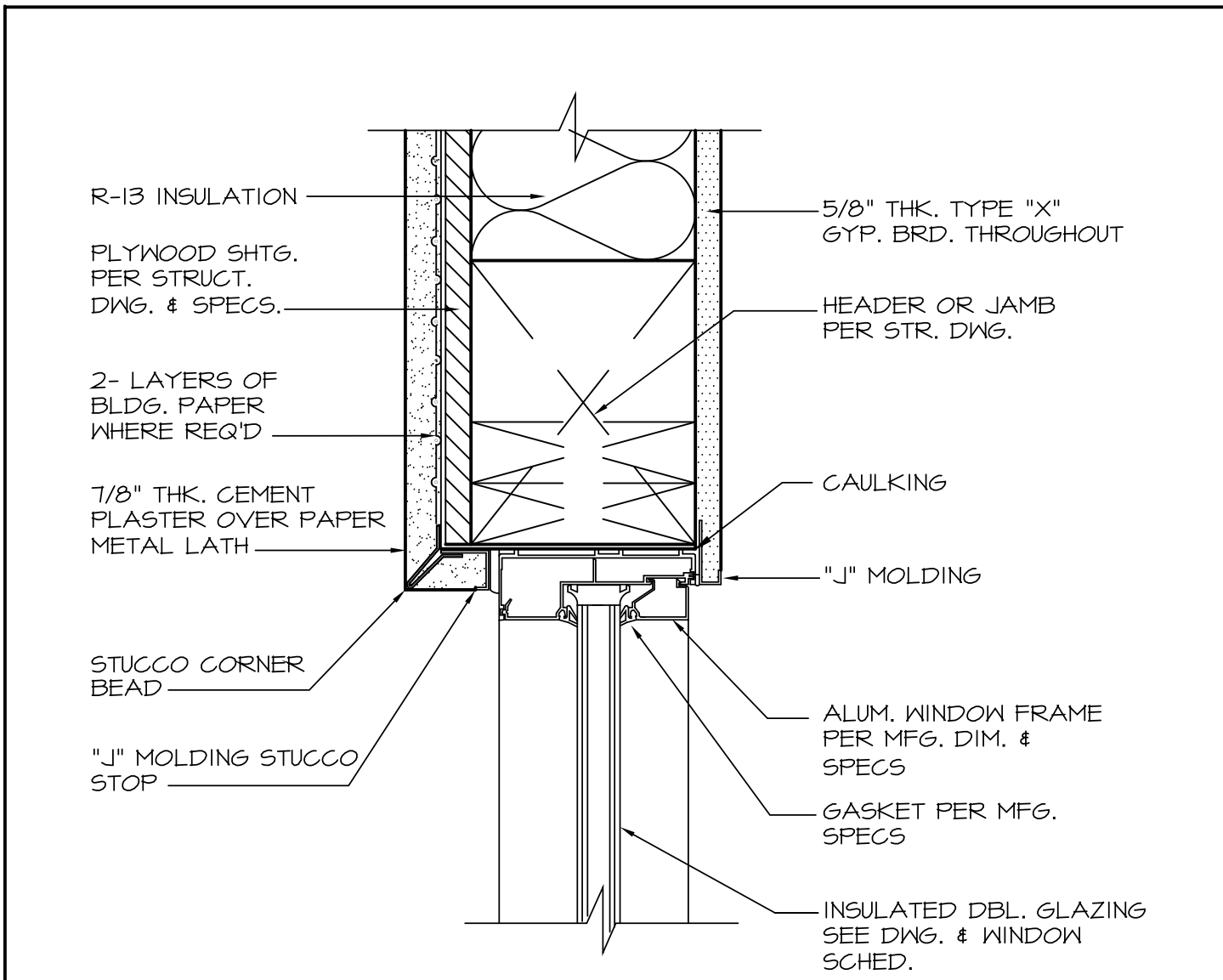
**1766 CIELITO DR.  
GLENDALE, CA 91207**

## DETAILS

Scale: AS SHOWN

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE 3.17.21
- JOB NO
- SHEET NO

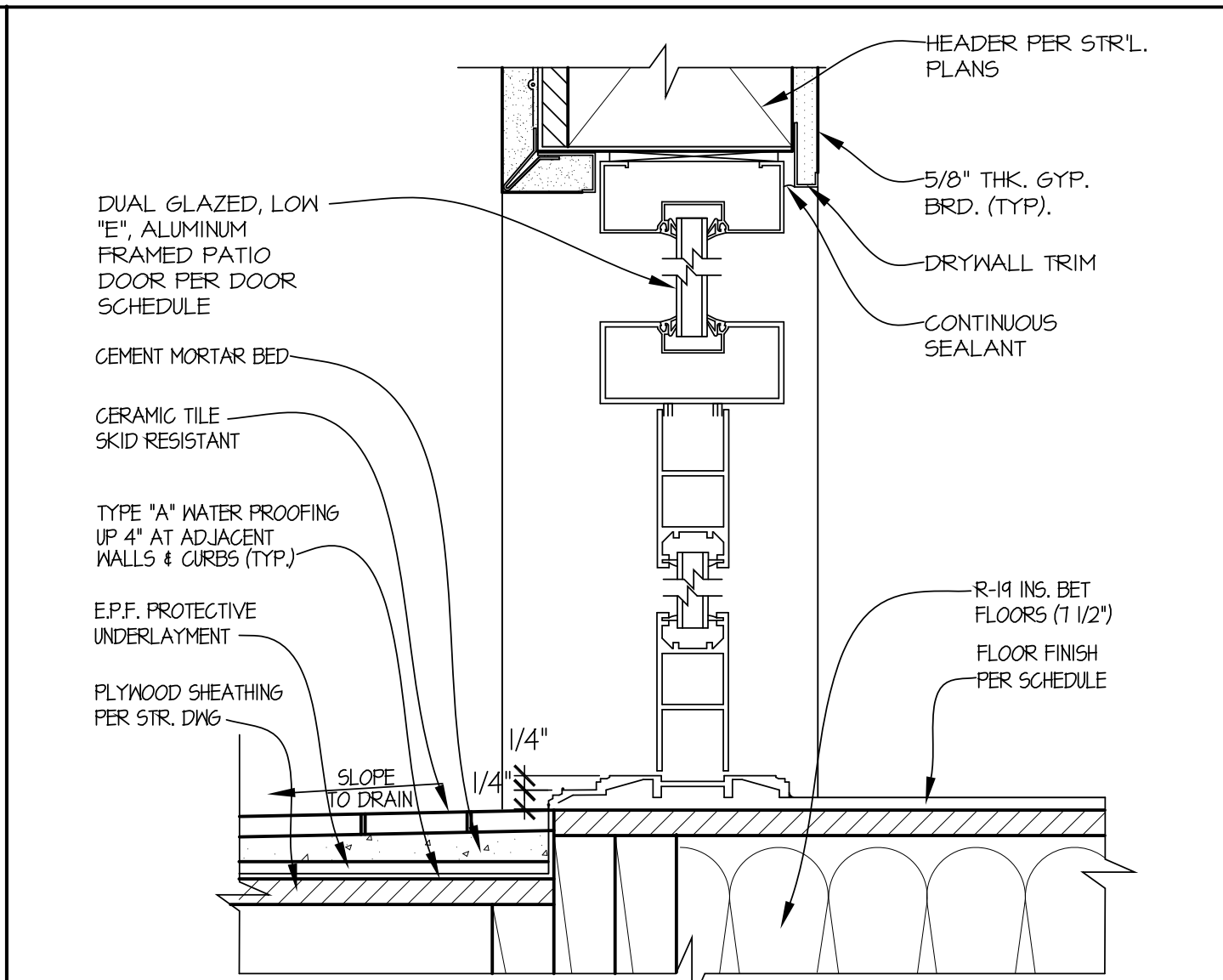
**A-6.1**



**WINDOW HEAD DETAIL**

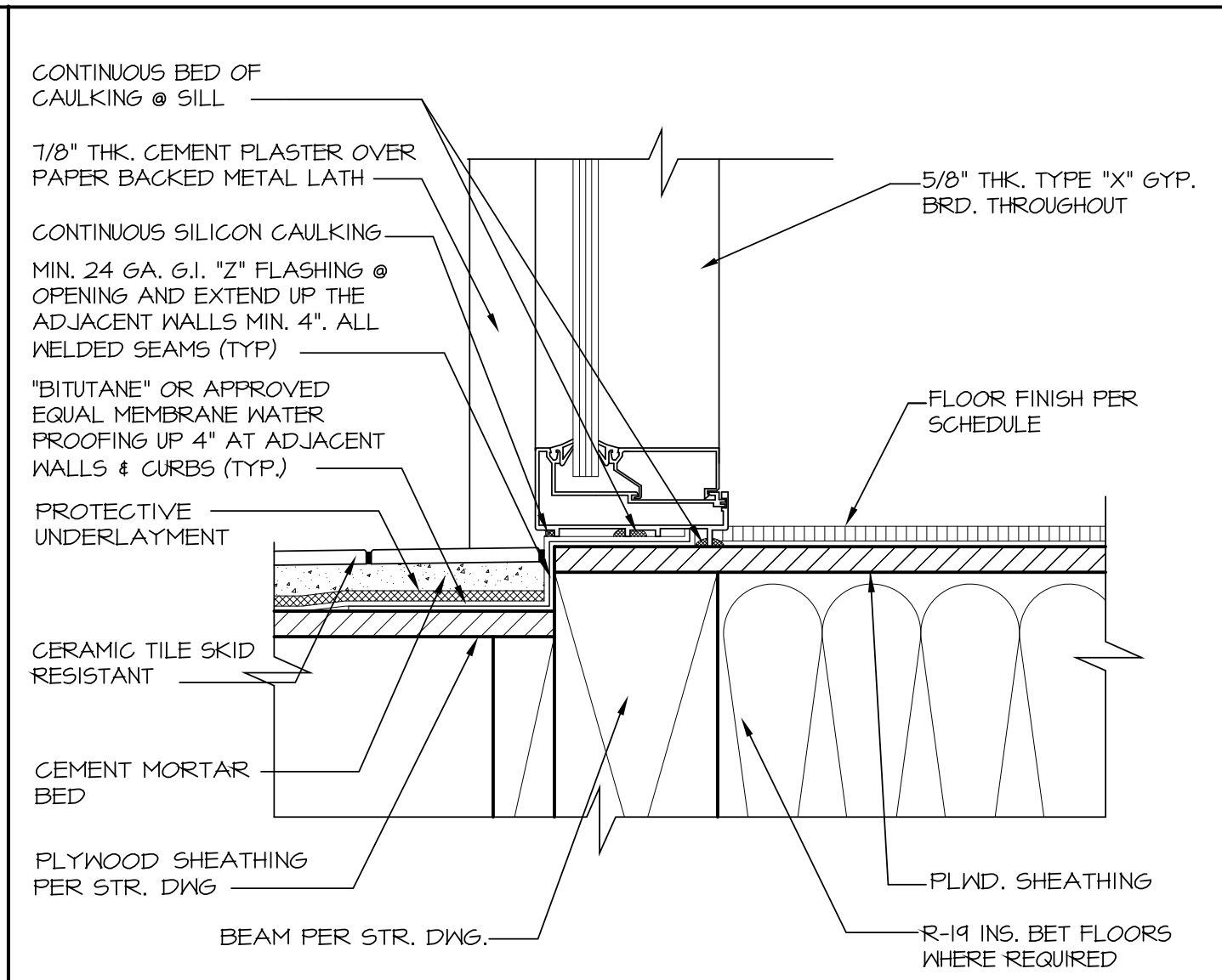
D-000029

SCALE: 3"=1'-0"



**GLASS DOOR SILL, HEAD @ BALCONY  
DETAIL**

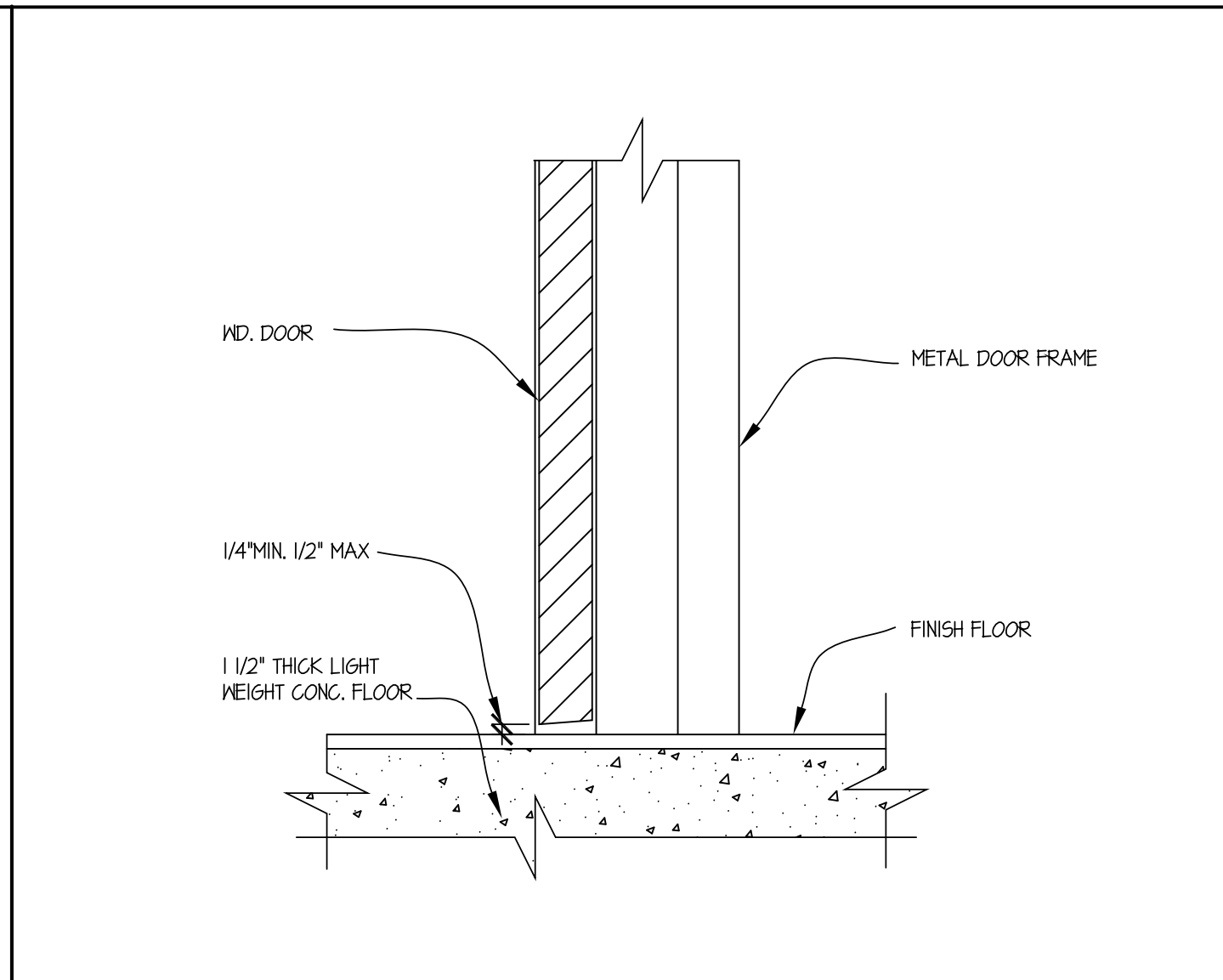
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**FIXED GLAZING SILL @ BALCONY DETAIL**

D-000003

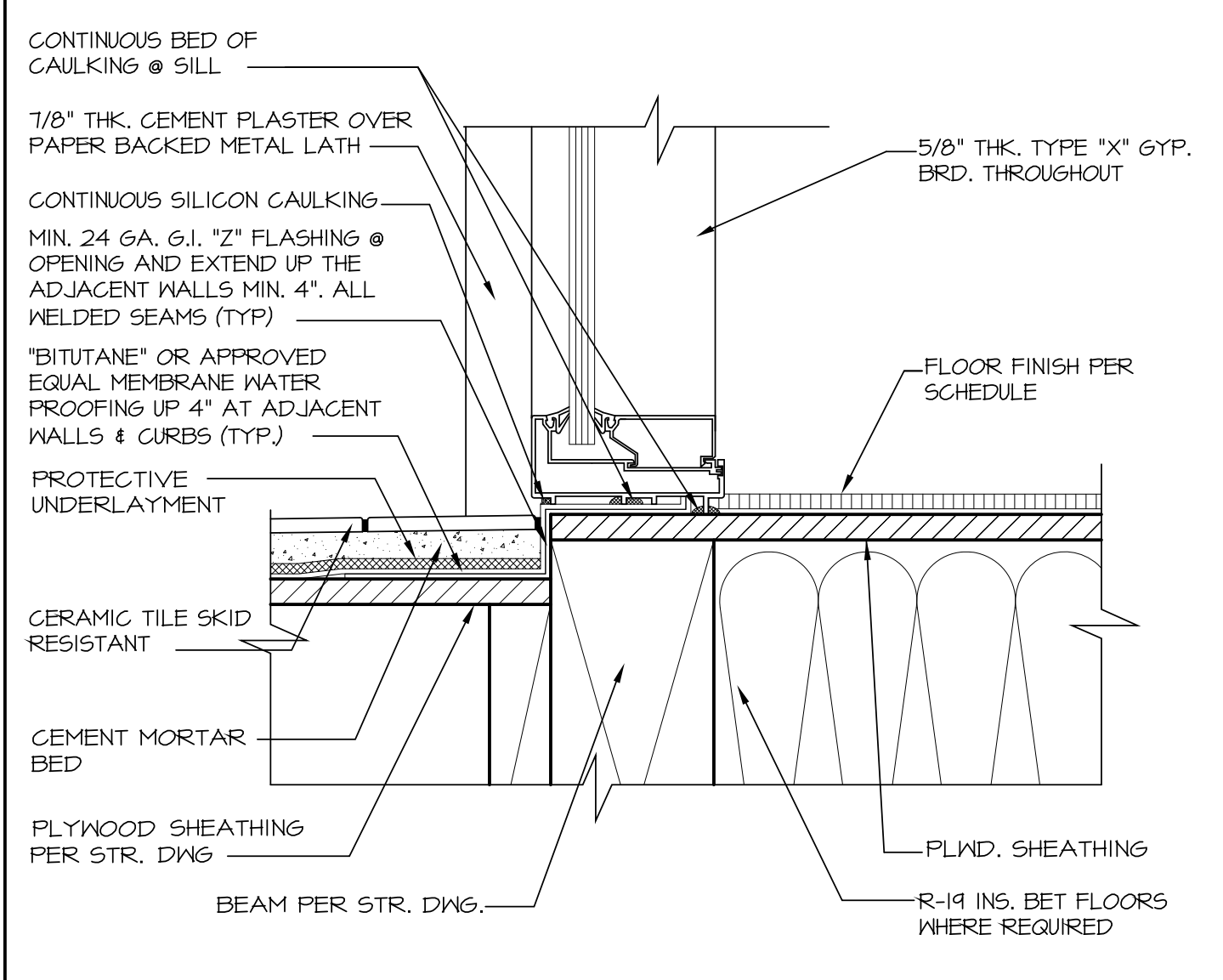
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**INTERIOR DOOR SILL DETAIL**

D-6

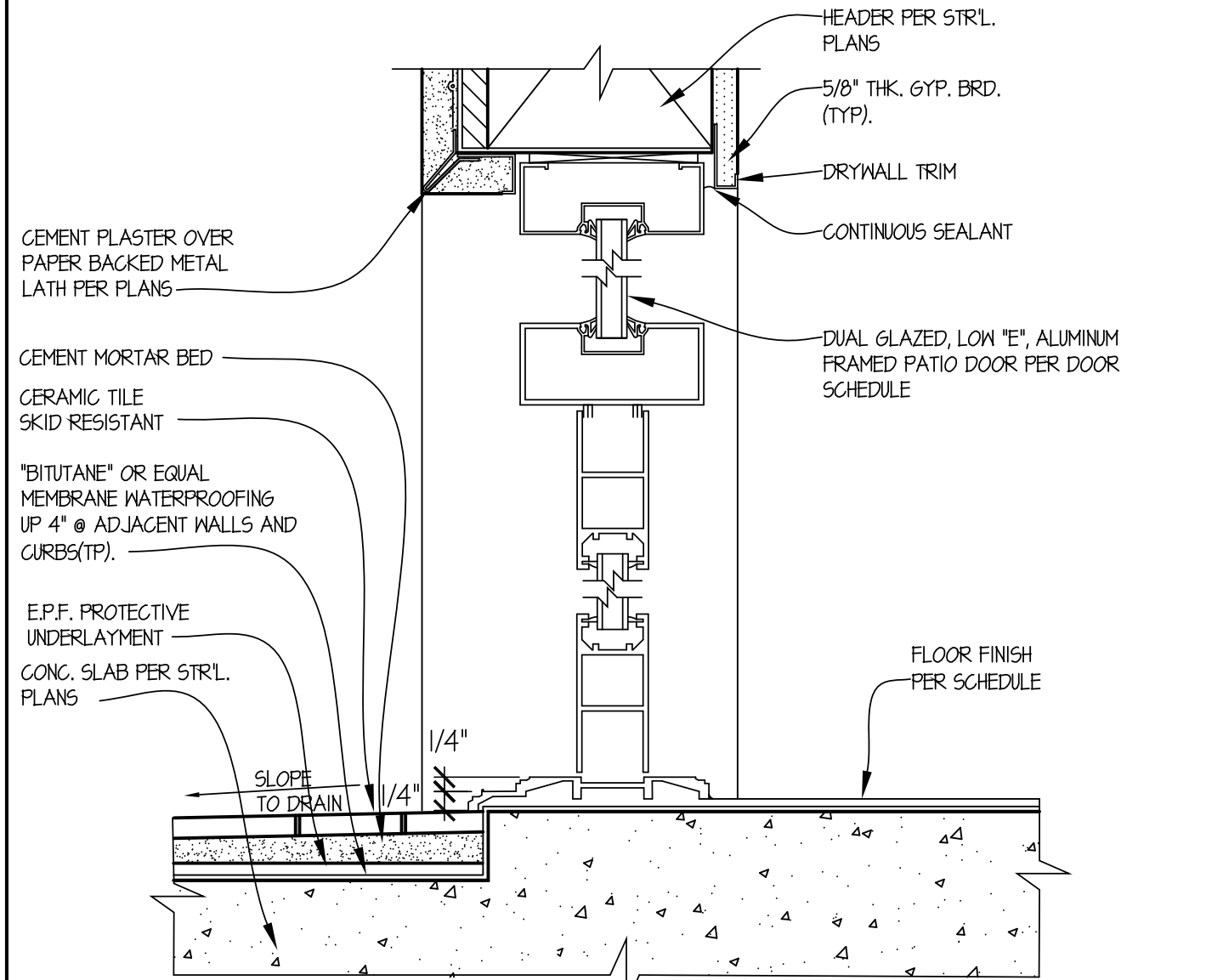
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**FIXED GLAZING SILL @ BALCONY DETAIL**

D-000003

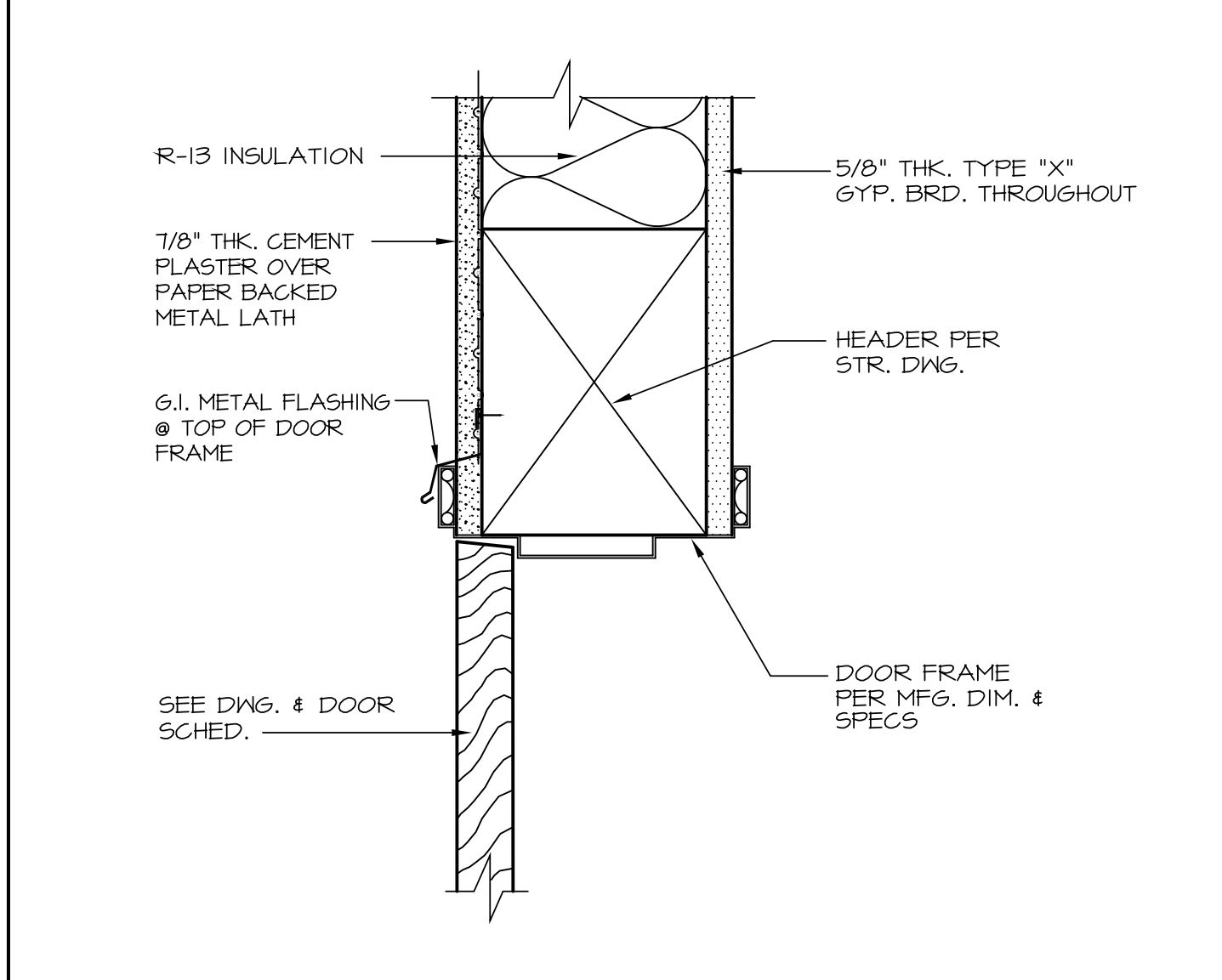
SCALE: 3"=1'-0"



**GLASS PATIO DOOR SILL, HEAD DETAIL**

D-000020

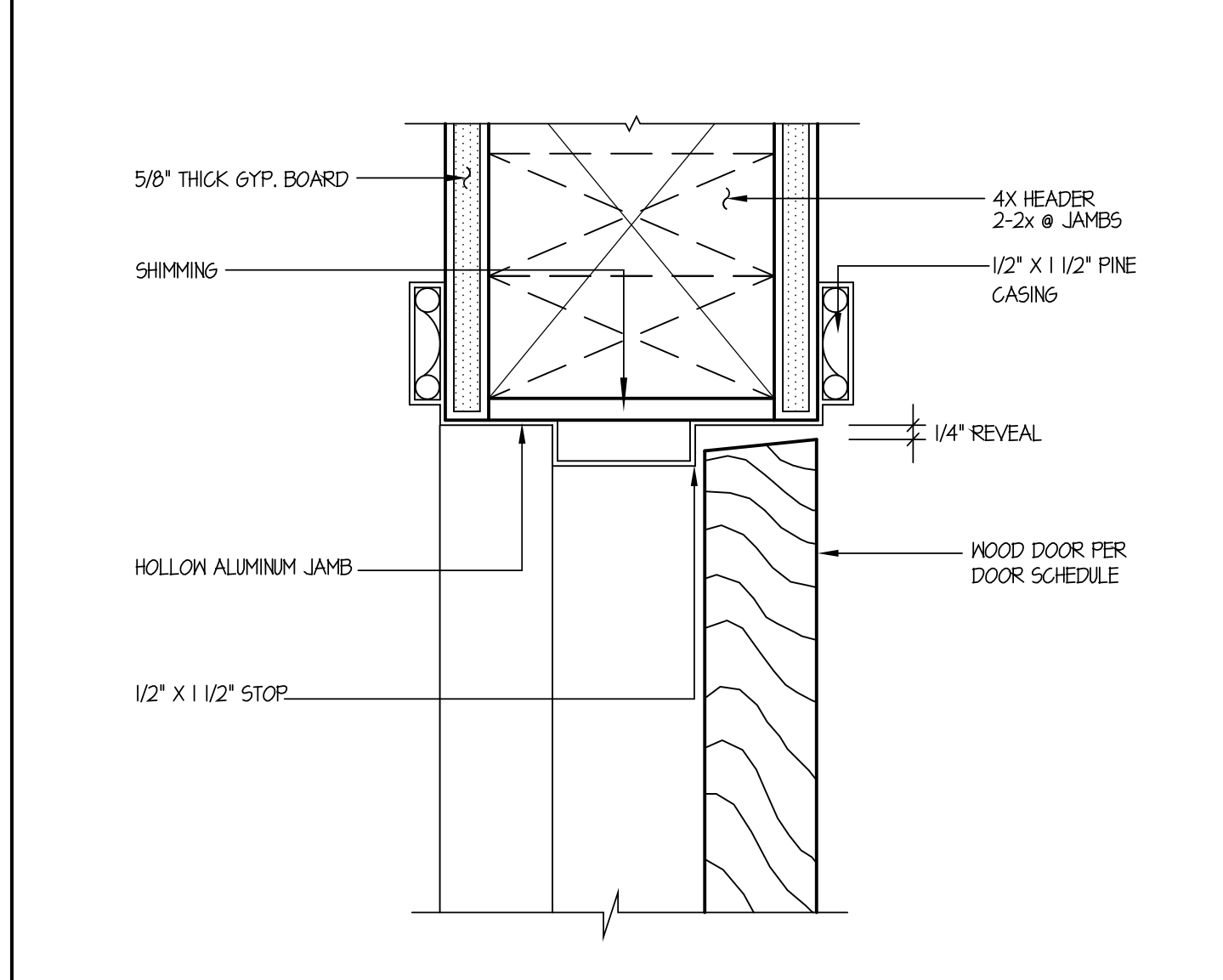
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**EXTERIOR DOOR JAMB, HEAD DETAIL**

D-

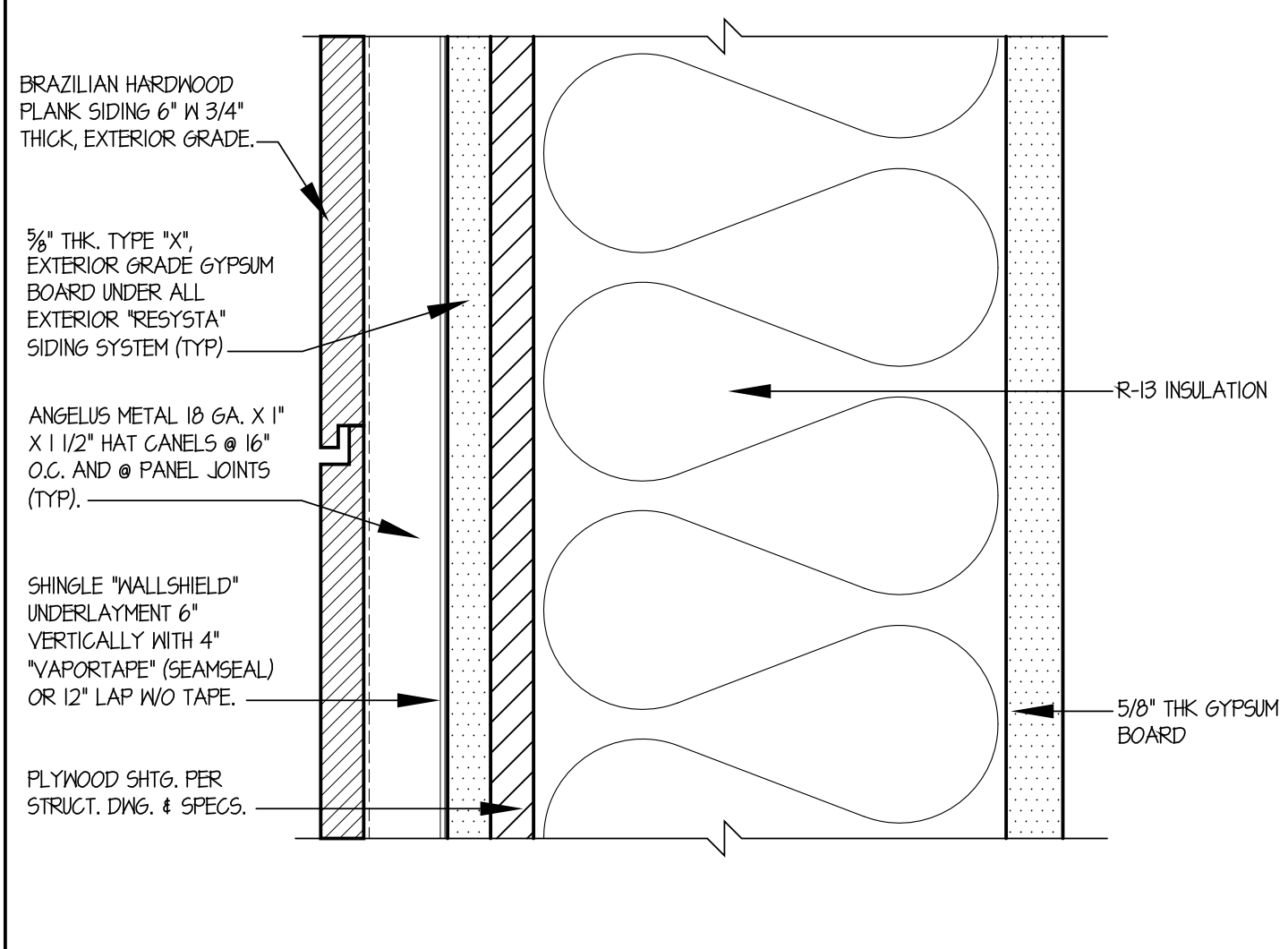
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**INTERIOR DOOR HEAD & JAMB**

D-000014

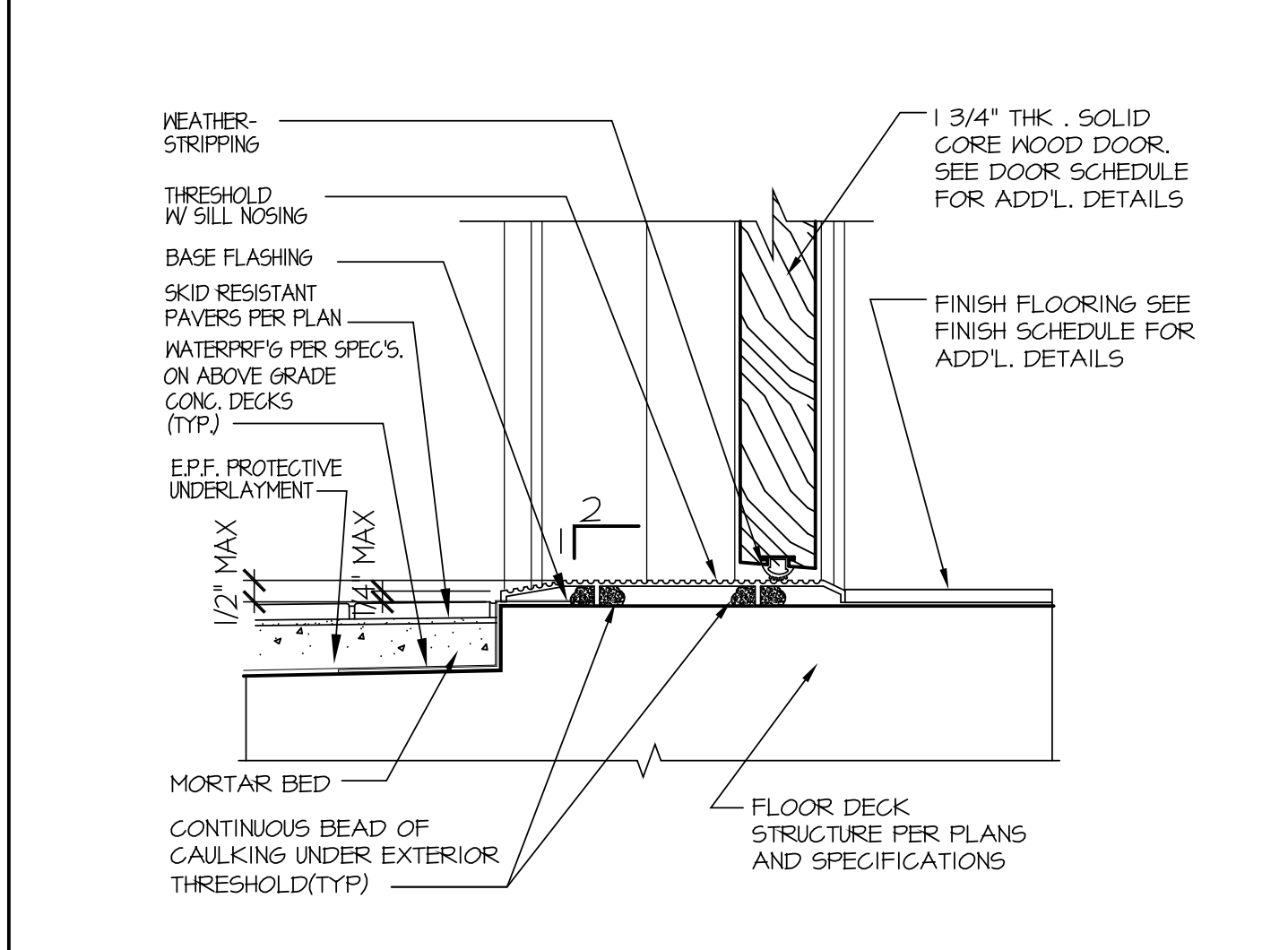
SCALE: 6"=1'-0"



**COMPOSITE WOOD VENEER WALL DETAIL**

D-000065

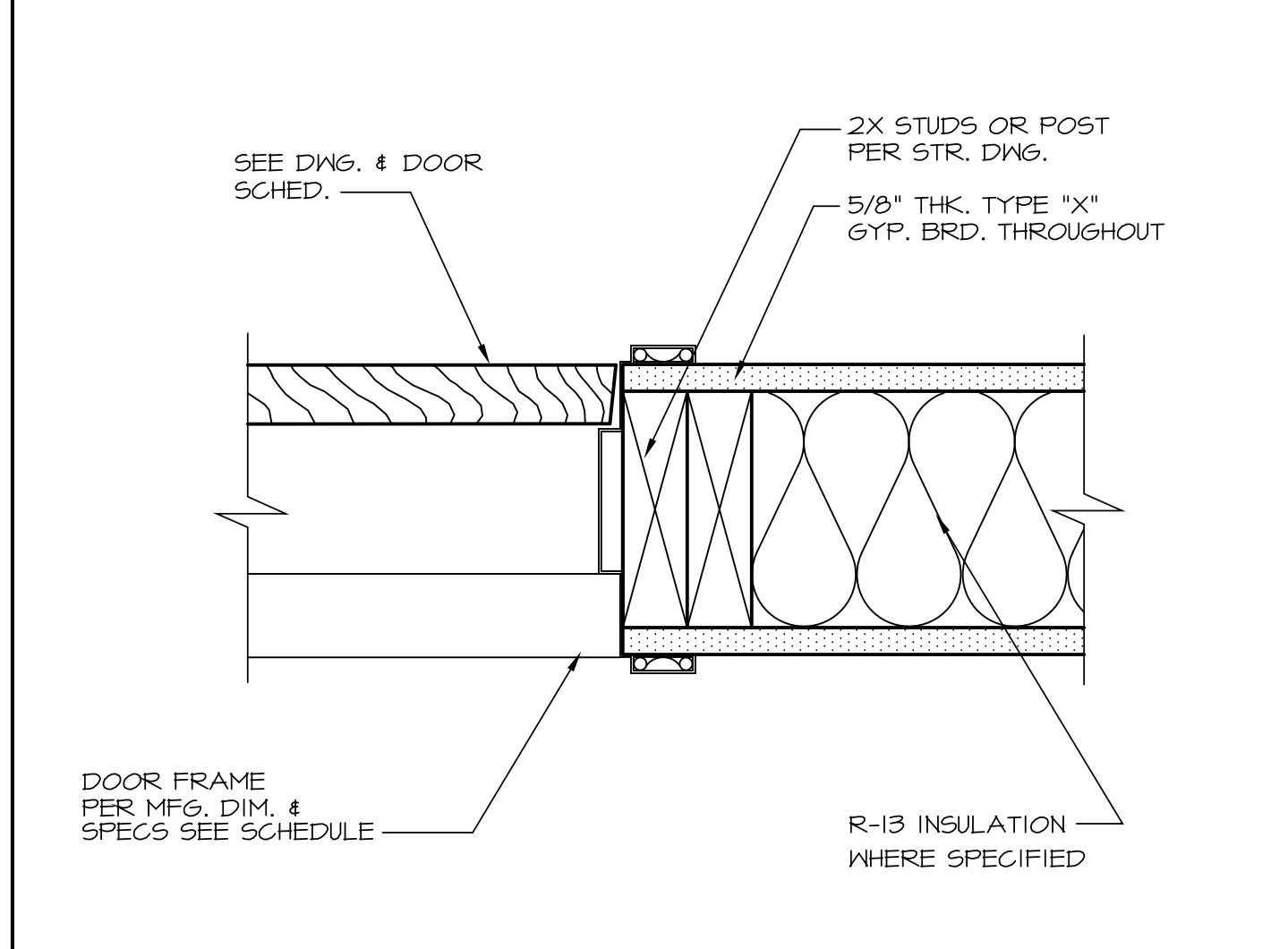
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**EXTERIOR DOOR SILL DETAIL**

D-000025

SCALE: 3"=1'-0"



**INTERIOR DOOR JAMB DETAIL**

SCALE: 3"=1'-0"



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Owner:  
**JACK DEMIRCHIAN**

Owner Address:  
**1766 CIELITO DR  
GLENDALE, CA**  
Project Name:  
**SINGLE FAMILY  
DWELLING**

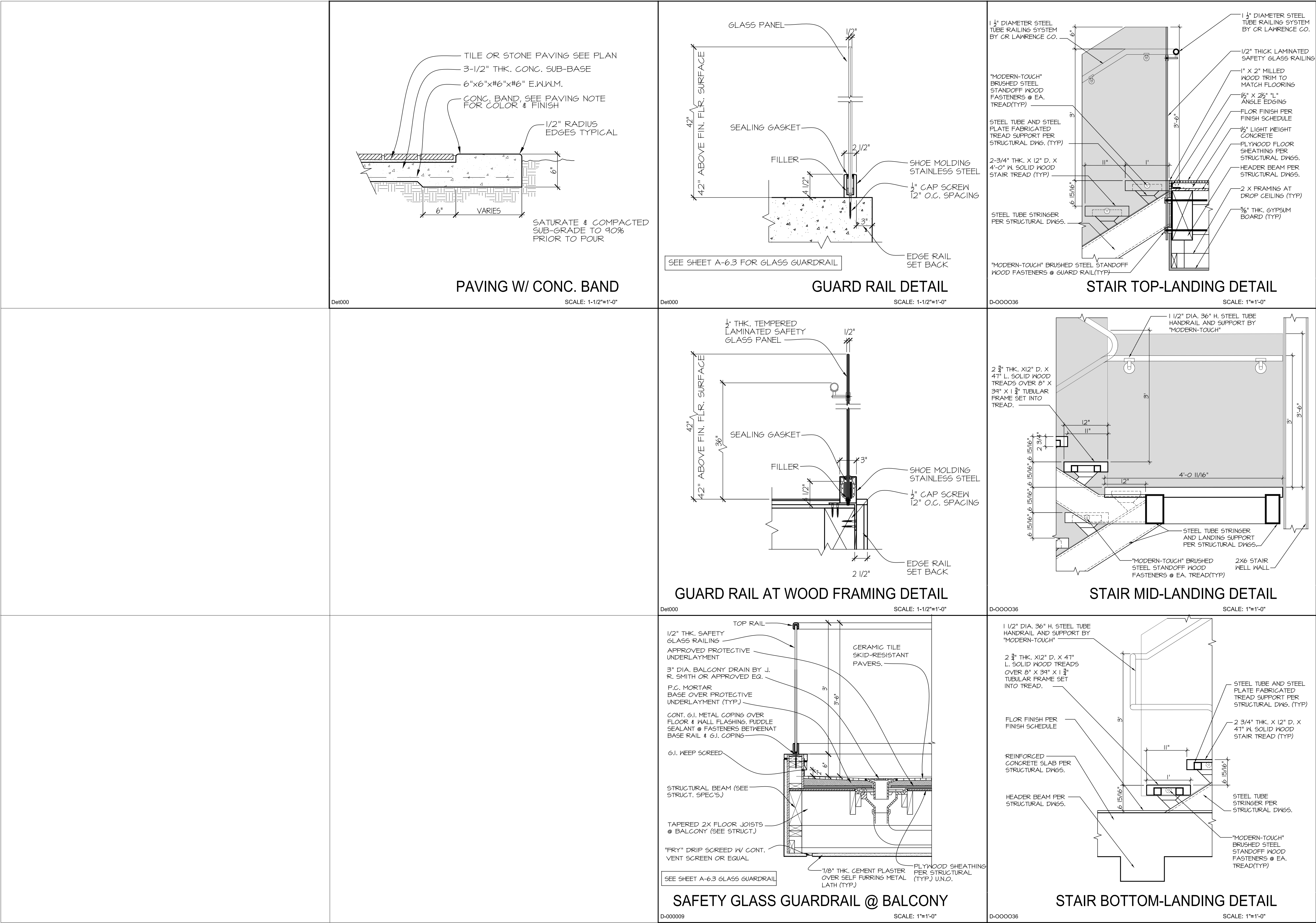
Project Address:  
**1766 CIELITO DR.  
GLENDALE, CA 91207**

## DETAILS

Scale: AS SHOWN

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- PRINT DATE 3.17.21
- JOB NO
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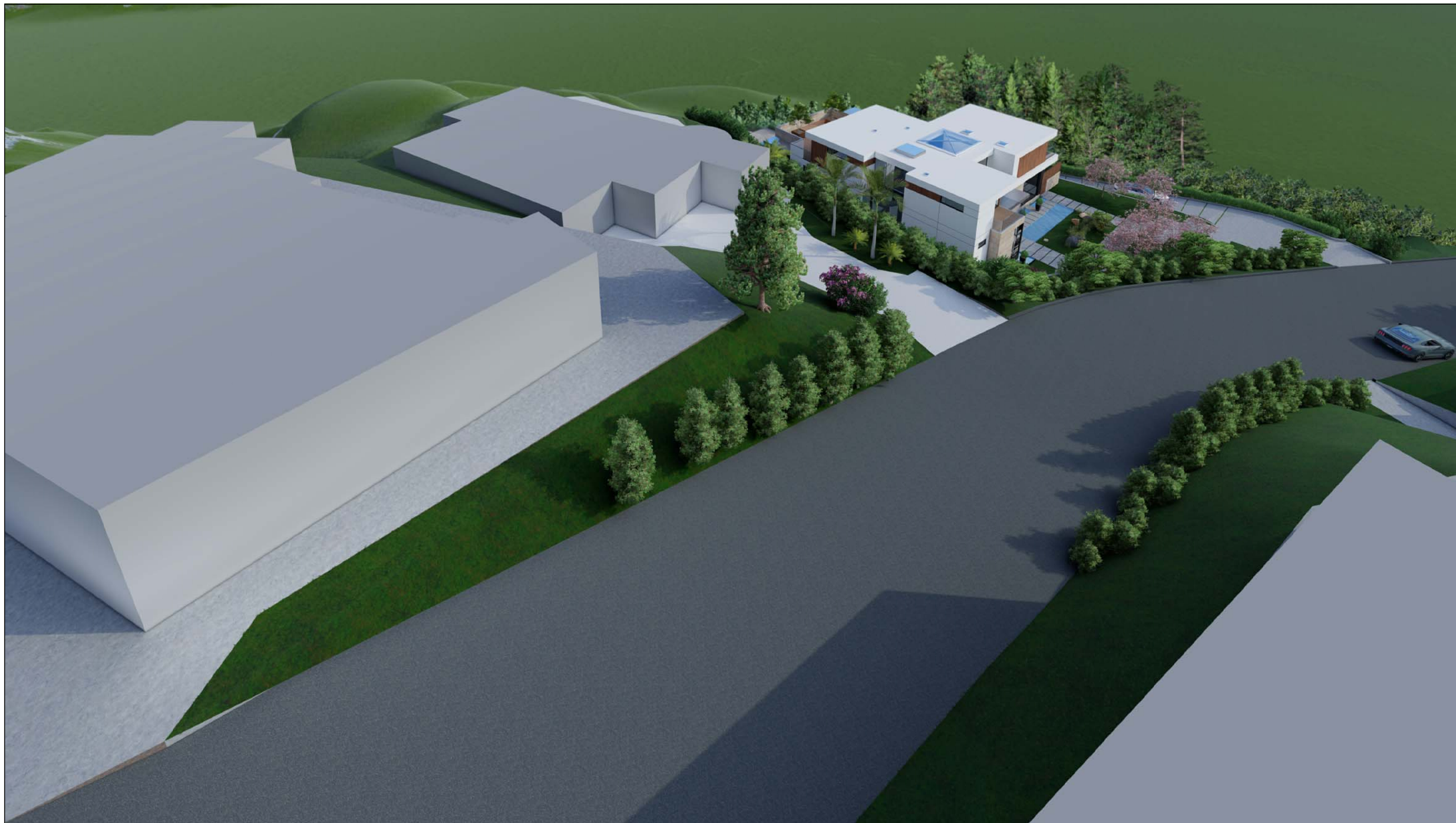
2 STREET VIEW OF FRONT ELEVATION  
SCALE:



1 ELEVATION FACING WEST  
SCALE:



3 DRIVEWAY ENTRY FROM CIELITO  
SCALE:



1 BIRD-EYE VIEW FROM NORTH  
SCALE:

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## RENDERINGS

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A-8.1





2 BIRD'S EYE VIEW FROM SOUTH-WEST  
SCALE:



3 VIEW FROM LOWER CIELITO DR.  
SCALE:



1 VIEW FROM PROPERTY 1770  
SCALE:

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**A-8.2**

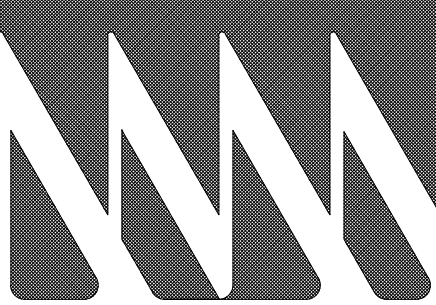




ENLARGED LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"



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## LANDSCAPE PLAN

Scale: "1/8" = 1'-0"

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## PLANTING LEGEND

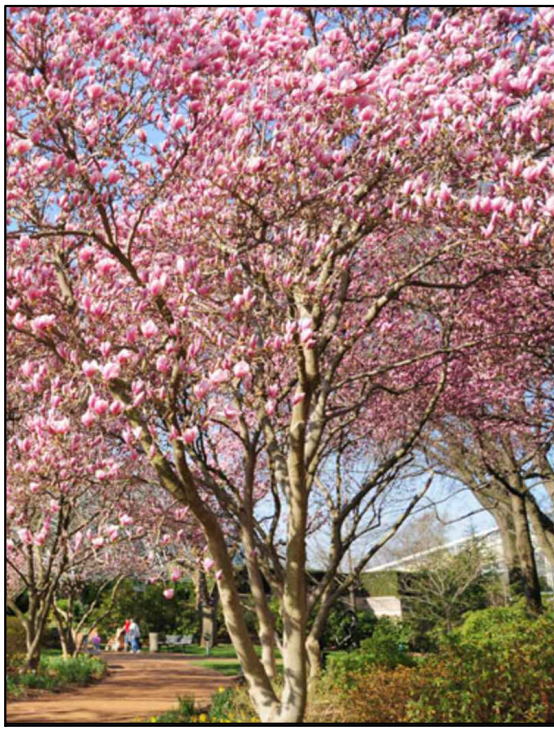
Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks
	TREES <i>Cotinus coggygia</i> / Smoke tree	4	36" Box	L	Alt. 24" Box
	<i>Magnolia x soulangeana</i> / Saucer magnolia	6	36" Box	M	
	<i>Pinus thunbergii</i> / Japanese black pine	1	24" Box	M	Specialty grown
	SHRUBS <i>Cyperus papyrus</i> / Paper Reed	7	15g	H	In pots, handwatered
	<i>Hakonechloa macra</i> / Hakone grass @ 24" o.c.	30	1g	M	
	<i>Juncus patens</i> / California gray rush @ 18" o.c.	52	1g	L	
	<i>Ligustrum japonicum</i> 'Texanum' / Waxleaf privet @ 36" o.c.	48	5g	M	
	<i>Lomandra longifolia</i> 'LM300' / Breeze Dwarf Mat Rush @ 24" o.c.	93	5g	L	
	<i>Nandina domestica</i> / Heavenly bamboo @ 30" o.c.	40	1g	L	
	VINES <i>Bougainvillea</i> 'Barbara Kurst' / Red bougainvillea @ 60" o.c.	10	15g	L	
	<i>Ficus pumila</i> / Creeping Fig @ 60" o.c.	10	5g	M	
	GROUND COVER <i>Juniperus horizontalis</i> / Creeping juniper 237 sf @ 48" o.c.	15	1g	L	
	Decorative Gravel - 952 sf				



TREES



Cotinus coggygria /  
Smoke tree



Magnolia x soulangeana /  
Saucer magnolia



Pinus thunbergii /  
Japanese black pine

SHRUBS



Cyperus papyrus /  
Paper Reed



Hakonechloa macra /  
Hakone grass



Juncus patens /  
California gray rush



Ligustrum japonicum 'Texanum' /  
Waxleaf privet

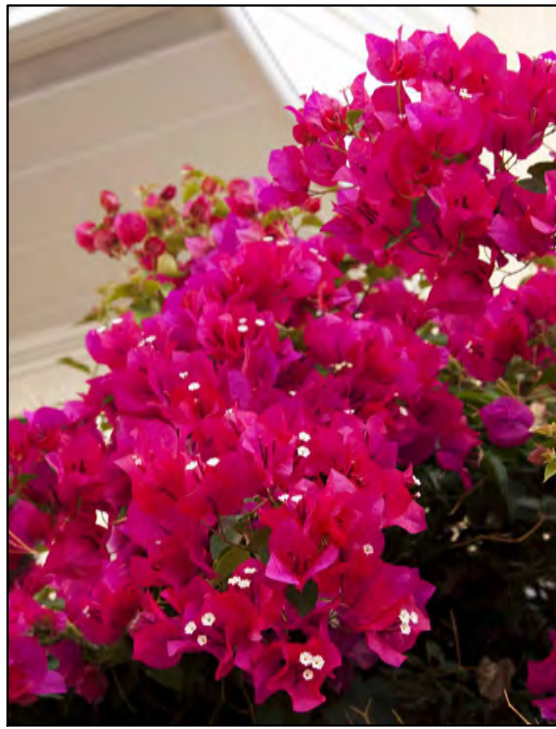


Lomandra longifolia 'LM300' /  
Breeze Dwarf Mat Rush



Nandina domestica /  
Heavenly bamboo

VINE



Bougainvillea 'Barbara Kurst' /  
Red bougainvillea

GROUND COVER



Ficus pumila /  
Creeping fig



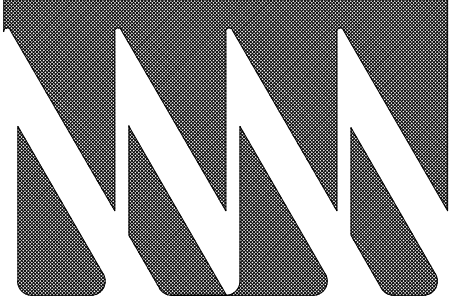
Juniperus horizontalis /  
Creeping juniper

PLANTING LEGEND

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TREES					
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VINES					
	Bougainvillea 'Barbara Kurst' / Red bougainvillea @ 60" o.c.	10	15g	L	
	Ficus pumila / Creeping Fig @ 60" o.c.	10	5g	M	
GROUND COVER					
	Juniperus horizontalis / Creeping juniper 237 sf @ 48" o.c.	15	1g	L	
	Decorative Gravel - 952 sf				



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1766 CIELITO DR  
GLENDALE, CA  
Project Name:  
SINGLE FAMILY  
DWELLING

Project Address:  
1766 CIELITO DR.  
GLENDALE, CA 91207

PLANT  
PHOTOS

Scale: "1"=1'-0"

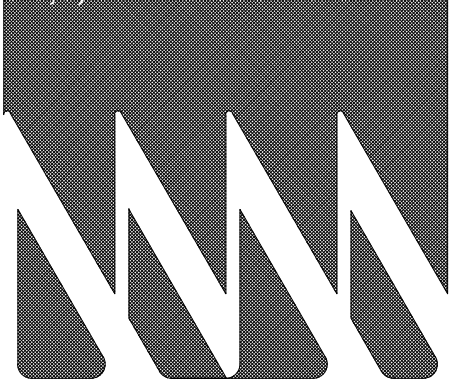
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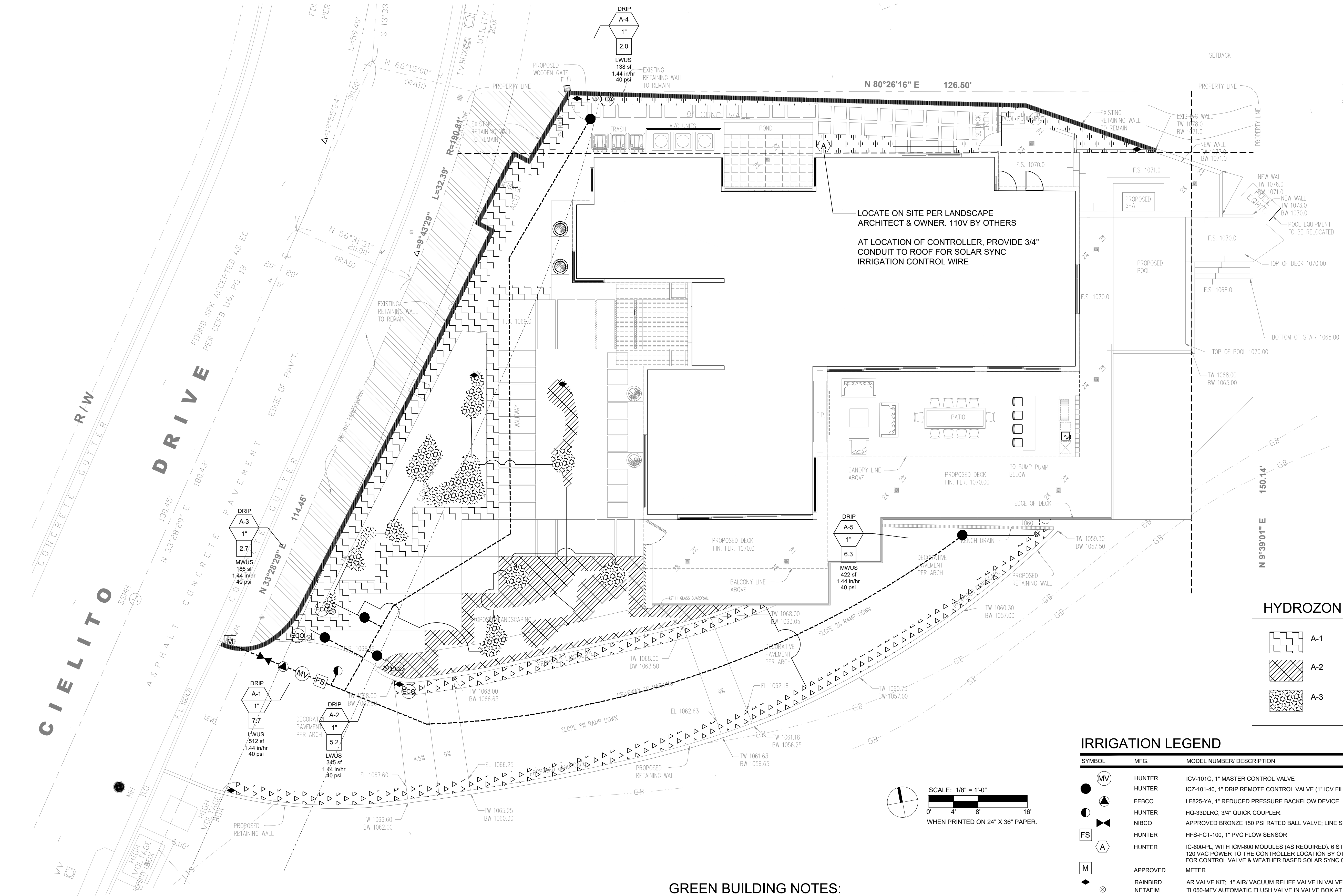
Project Address:  
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GLENDALE, CA 91207

## IRRIGATION PLAN

Scale: "1/8" = 1'-0"

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## ENLARGED IRRIGATION PLAN

SCALE: 1/8" = 1'-0"

## IRRIGATION WATER LINE:

For all irrigation systems with non-potable water, rainwater, or graywater. Confirm with civil engineer and LA County Health Department if required.

If required, all buried pressurized water lines shall be identified w/ continuous tape (CA UPC, Sec. 601.2.2.1) and all buried pressurized water lines must be inspected prior to backfill.

Potable (blue or green background w/ black lettering) up to backflow  
**"POTABLE WATER LINE"**  
Recycled (CCR Tile 22 water, purple background w/ black lettering)  
**"CAUTION - RECLAIMED WATER, DO NOT DRINK"**  
Non-potable (Irrigation, from potable source, yellow background w/ black lettering)  
**"CAUTION - NON-POTABLE WATER LINE"**  
Industrial/Non-potable (Industrial application, yellow w/ black lettering & direction of flow)  
**"CAUTION - INDUSTRIAL WATER LINE"**  
Rainwater/Ustem Water (yellow or purple background w/ black lettering)  
**"CAUTION - NON-POTABLE RAINWATER, DO NOT DRINK"**  
Graywater (gray or purple background w/ black lettering)  
**"CAUTION - NON-POTABLE GRAY WATER, DO NOT DRINK"**  
Treated Graywater (gray or purple background w/ black lettering)  
**"CAUTION - ON SITE TREATED NON-POTABLE WATER, DO NOT DRINK"**

## GREEN BUILDING NOTES:

- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- AFTER INSTALLATION, INSTALLER TO PERFORM PRESSURE TESTING AND VERIFY WATER COVERAGE OF ENTIRE IRRIGATION SYSTEM. INSTALLER SHALL ADJUST OR REPLACE ANY DEVICES TO ENSURE EFFICIENT, COMPLETE AND PROPER WORKING OF THE SYSTEM.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- THE CONTROLLER IS SHIPPED WITH A COMPLETE OPERATIONS MANUAL WHICH SHALL BE GIVEN TO OWNER OR KEPT ON SITE PER OWNER'S REQUEST.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

## IRRIGATION LEGEND

SYMBOL	MFG.	MODEL NUMBER/ DESCRIPTION	REMARKS
	HUNTER	ICV-101G, 1" MASTER CONTROL VALVE	SEE DETAIL A
	HUNTER	ICZ-101-40, 1" DRIP REMOTE CONTROL VALVE (1" ICV FILTER SENTRY GLOBE W/1" HY100 FILTER+REGULATOR)	SEE DETAIL B
	FEBCO	LF825-YA, 1" REDUCED PRESSURE BACKFLOW DEVICE	SEE DETAIL C
	HUNTER	HQ-33DLRC, 3/4" QUICK COUPLER	SEE DETAIL D
	NIBCO	APPROVED BRONZE 150 PSI RATED BALL VALVE; LINE SIZE IN VALVE BOX.	SEE DETAIL E
	HUNTER	HFS-FCT-100, 1" PVC FLOW SENSOR	SEE DETAIL F
	HUNTER	IC-600-PL, WITH ICM-600 MODULES (AS REQUIRED), 6 STN. WALL MOUNT CONTROLLER W-SOLAR SYNC SENSOR; 120 VAC POWER TO THE CONTROLLER LOCATION BY OTHERS. 3/4" CONDUIT TO ROOF FROM CONTROLLER FOR CONTROL VALVE & WEATHER BASED SOLAR SYNC CONTROL MODULE.	SEE DETAIL G
	APPROVED	METER	
	RAINBIRD	AR VALVE KIT, 1" AIR/ VACUUM RELIEF VALVE IN VALVE BOX AT HIGH POINT.	SEE DETAIL H
	NETAFIM	TL050-AMFV AUTOMATIC FLUSH VALVE IN VALVE BOX AT LOW POINT.	SEE DETAIL H
	RAINBIRD	XFS-09-12-xxx DRILIPE W/ COPPER SHIELD EMITTERS; EMITTERS @12" O.C. & 12" ROW SPACING.	SEE DETAIL I
	RAINBIRD	XFD-09-12-xxx ON SURFACE DRILIPE; EMITTERS @12" O.C. & 12" ROW SPACING.	SEE DETAIL F
	APPROVED	PVC SCH. 40 LATERAL LINE; SEE PLAN FOR SIZE	SEE DETAIL J
	APPROVED	PVC SCH. 40 MAINLINE SLEEVE; 2" AT EACH LOCATION 2X THE DIA. OF PIPE TO BE SLEEVED	SEE DETAIL J
	APPROVED	MAINLINE: 1) UNDER CONCRETE DECK (IN GARAGE) - TYPE L COPPER FOR SIZES 1-1/2" AND SMALLER	SEE DETAIL J
	APPROVED	2) INSIDE WALLS AND BETWEEN FLOORS (DECK PENETRATIONS) - TYPE K COPPER	
	APPROVED	3) BETWEEN WATER MAIN AND BACKFLOW - TYPE K COPPER	
	APPROVED	4) DOWNSTREAM FROM BACKFLOW - SCHEDULE 40 PVC BURIED IN SOIL SIZE 1 1/2" AND SMALLER, SIZE NOTED	
	HUNTER	ECO-ID DRIP SYSTEM INDICATOR	SEE DETAIL K

## HYDROZONE LEGEND

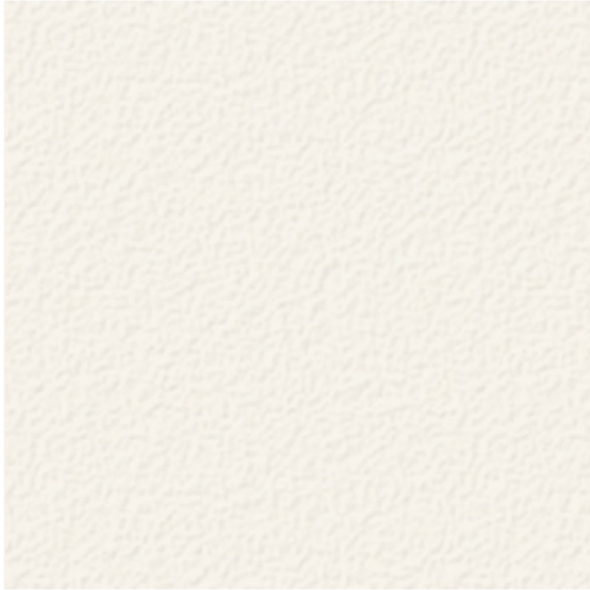
SYMBOL	DESCRIPTION
	COOL SEASON TURF
	WARM SEASON TURF
	HIGH WATER USING SHRUB/TREE
	MEDIUM WATER USING SHRUB/TREE
	LOW WATER USING SHRUB/TREE
	VERY LOW WATER USING SHRUB/TREE



# MATERIAL BOARD

1766 CIELITO DRIVE, GLENDALE, CA 91207

1



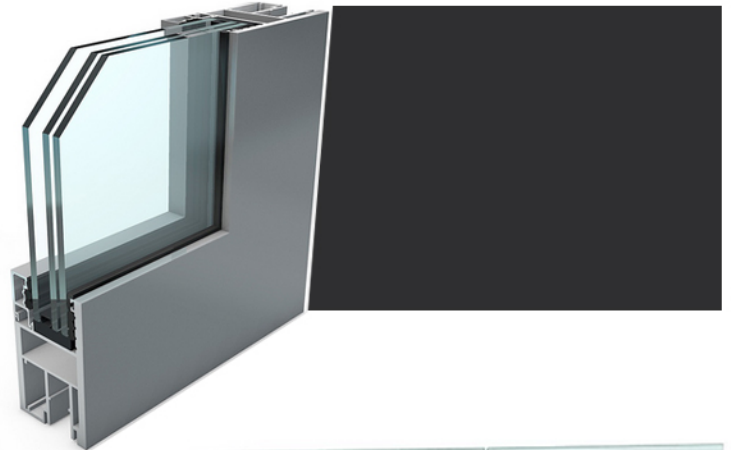
2



6



4



5



## MATERIAL BOARD

1. 7/8" THK. SMOOTH FINISH CEMENT PLASTER, "OMEGA PRODUCTS INTERNATIONAL" OMEGA FLEX FINE # 9211
2. BRAZILIAN HARDWOOD PLANK SIDING 6" W X 3/4" THICK, EXTERIOR GRADE.
4. WINDOW TRICORN COLOR "SW 6258" ANODIZED ALUMINUM DOOR AND WINDOW FRAME W/ DUAL GLAZED LOW "E" VISION GLASS BY MARVIN OR EQUAL
5. 1/2" THICK TEMPERED GLASS RAILING W/ BRUSHED CLEAR ANODIZED ALUMINUM BASE SHOE (TYP).
6. 3/4" TO 1-1/2" THK. FRENCH NATURAL LIMESTONE MASONRY VENEER DRY SET OVER CEMENT PLASTER BACKIN
8. TRICORN COLOR "SW 6258" ALUMINUM GARAGE DOOR FRAME WITH FROSTED GLASS.



## **ARCHITECTURAL GUIDELINES**

1766 Cielito Dr., Glendale, CA, 91207

Proposed for a two-story Single-Family house over basement/3 car garage.

1. Existing structure:

The existing 3246 SQFT house was built in 1961. This building has gone through several renovations. However, the current condition is so poor that new renovation will require to demolish 60-80% of the existing structure in order to maximize the utilization of the site and to meet the owner's needs. Therefore, by applying new zoning codes and regulations this renovation will be considered as a new construction.

Existing layout:

The existing building was originally built closer to property lines. The smaller building pad created in 1960s were suitable at that time when lesser setbacks and closer proximity between the setbacks did not take to an account the size and availability of the large property. However, per new zoning codes since the property is approximately 23,620 SQFT, allows the house to be built as +/- 5300 SQFT.

The position of existing 2 car garage and front driveway /motor court is not encouraged by new design standards. The layout of the house takes over 70% of the building pad area leaving a very small and unusable backyard/terrace. (See Figure 1)

2. The figure 2 shows that the new design exploits the same size pad with the application of current setbacks and it will allow only 2300 SQFT one story building or 4600 SQFT two story building with 3 car garage and very small backyard that is not going to utilize the potentiality that the site is really providing. In this figure almost 1300 SQFT of the existing pad will be used for parking garage and a backup area.

3. Proposed Design and building Location:

The proposed design takes a careful consideration of the topography. Shallow slope at the South side of existing pad naturally connects to the entry driveway. It is not difficult to visualize a driveway that takes 3 car garage down to a covered basement which itself will free up about 1300 SQFT of existing building pad. Freeing the front yard from concrete driveway it will give an opportunity to have an inviting landscape with water features at the front of the house and create much more functional floor plan.

4. The proposed building is terraced from East to West and from South to North following the topography of the site. (Figure 3, 4 & 5)



5. The proposed design includes terraces and swimming pool that orients toward South and East sides of the property. Designed terrace provides sizable private backyard space.
6. No significant grading will be required to achieve the basement under the main house. However, this design approach helps to utilize the building pad area as its best.
7. Windows and large glazed openings are directed towards the view which will provide a maximum interior daylight and privacy at the same time. North and East elevations are designed with a privacy in mind.
8. Proposed building consists of geometric fragments. Those masses, itself becomes terracing elements as well.
9. The proposed structure designed to respect the relationship to adjacent buildings and considers the use of the sunlight at the majority of the house. Also, the increased setbacks from North and West property lines provide considerable privacy to the adjacent buildings.
10. The progressive Street side setback offers a great opportunity to create a courtyard garden with native plants. (See Landscaping drawings.)
11. All mechanical equipment and trash area located a way from the street view and screened esthetically.
12. Retaining walls:  
All proposed driveway retaining walls are made of decorative block buffered with continuous landscape that softens the look. Note: The Southern driveway wall also will serve as a stabilizing component for the project. (See soils and geological reports.)
13. Garage:  
Which is located at the basement is not visible from street. Driveway that leads to basement garage has an average 5% slope which makes it walkable and ease pedestrian access for maintenance.

#### Conclusion:

Overall, the proposed design is a logical and a sensitive approach to the topography of the site. The proposed contemporary style creates horizontality and architectural forms that interplay with proposed high quality material selection. The site limitation dictates this design.